

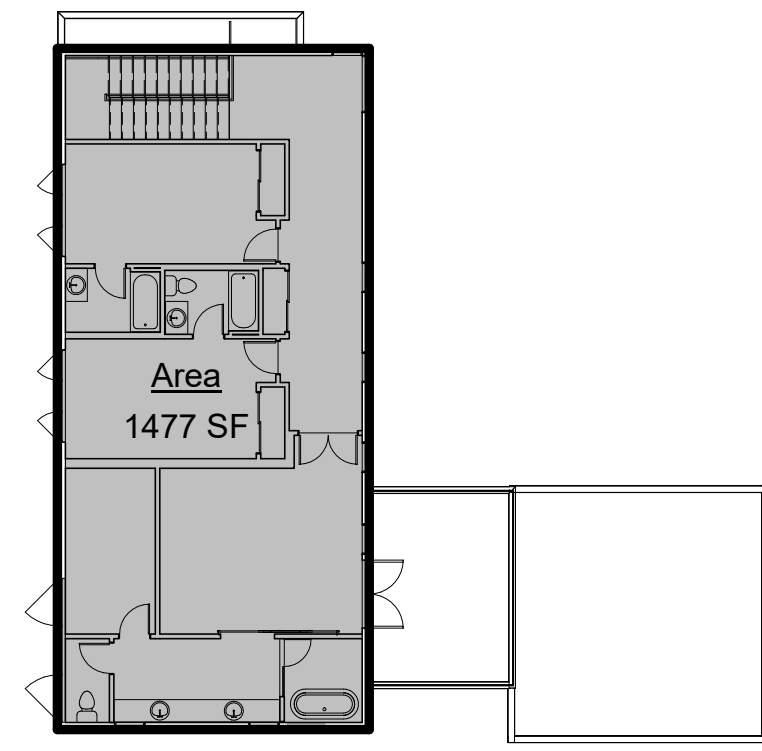




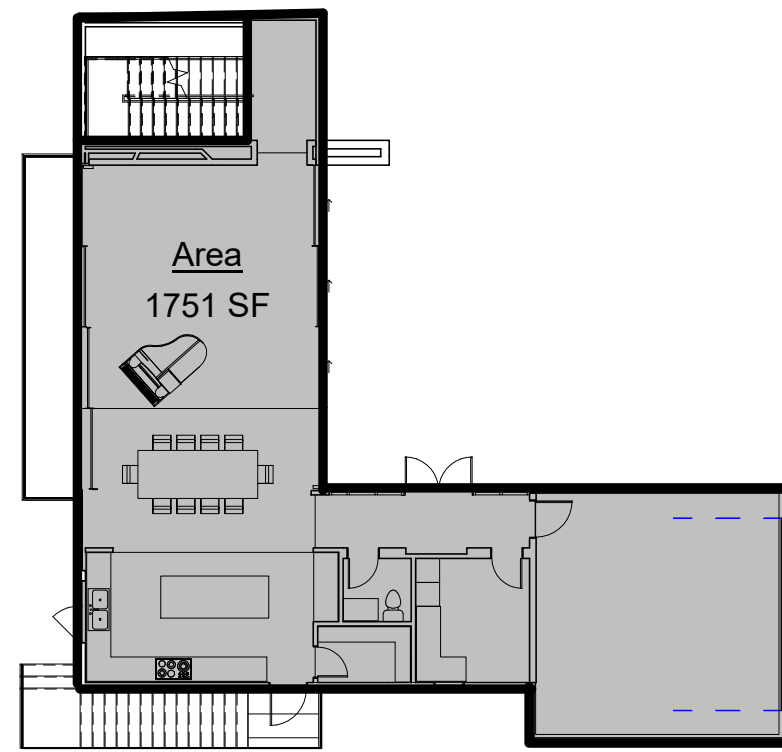


24"x36" ARCH D - SHEET SIZE

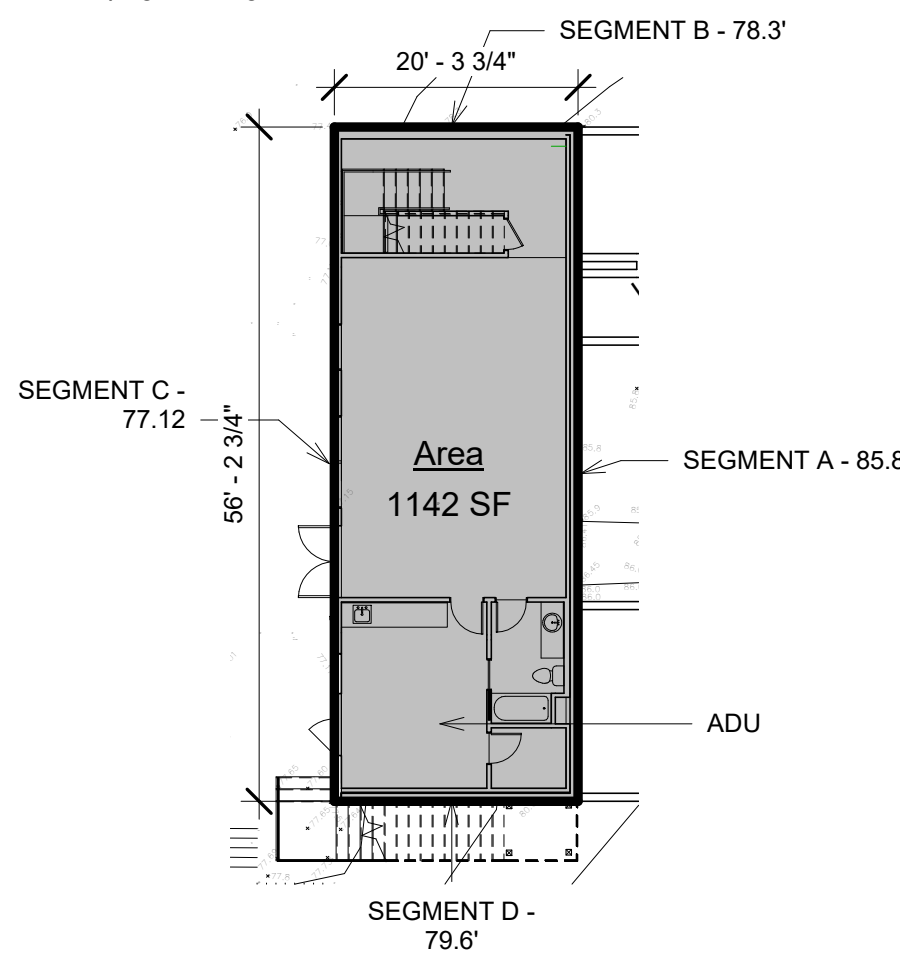
### GROSS FLOOR AREA



③ UPPER LEVEL  
1/16" = 1'-0"



② ENTRY LEVEL  
1/16" = 1'-0"



SEGMENT	LENGTH	WALL HT	MID-PT GRADE HT	%	WTD
A	35.25	9'	9'	100%	35.25
B	20.083	9'	78.3-77.2=1.1'	12.2%	2.45
C	35.25	9'	77.2-77.2=0'	0%	0
D	20.083	9'	79.6-77.2=2.4'	26.7%	5.36
TOTAL	110.667				43.06

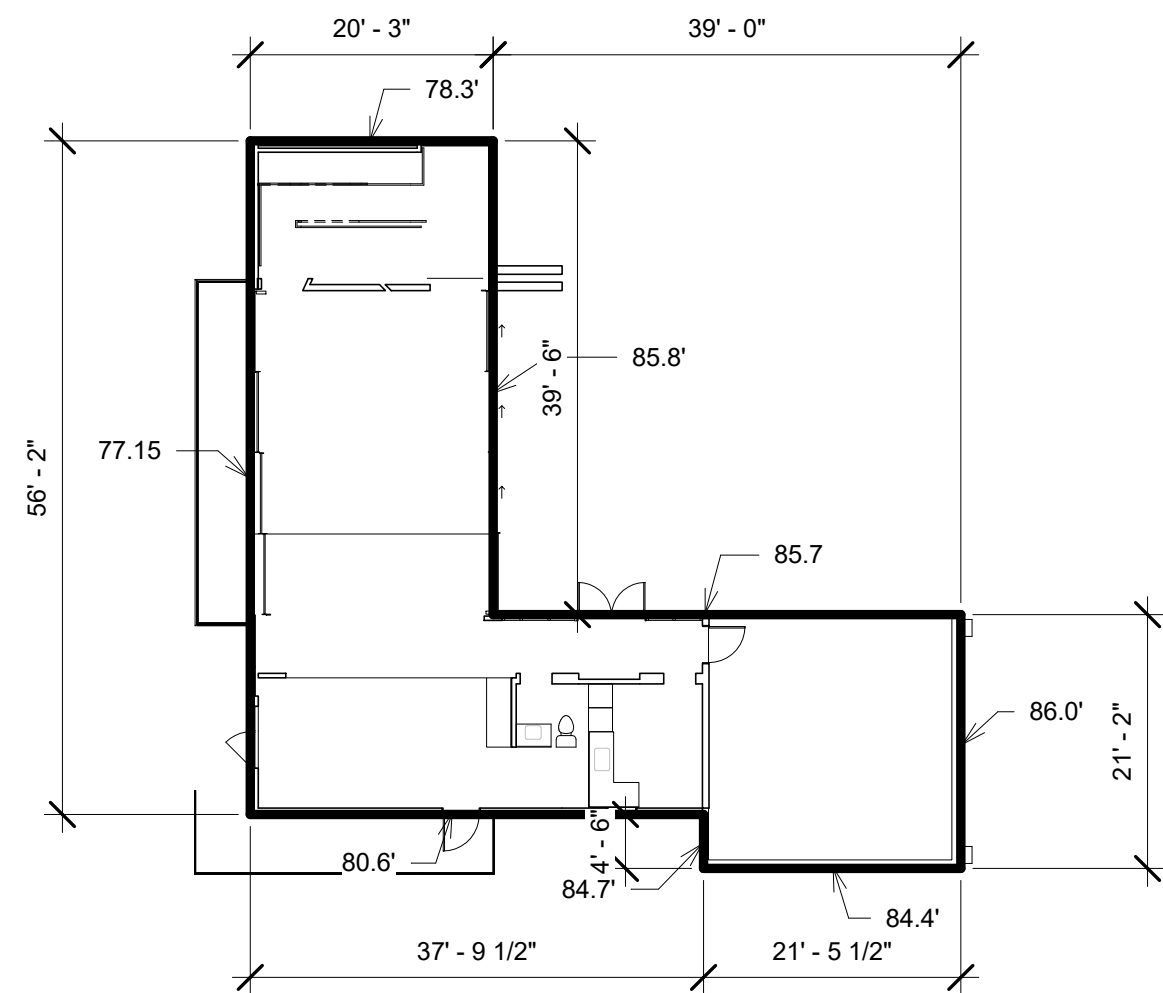
WTD / ACTUAL LENGTH .03891  
CONDITIONED AREA 1125 SF  
AREA COUNTING TOWARD GROSS 687 SF

① BASEMENT LEVEL  
1/16" = 1'-0"

TOTAL GROSS FLOOR AREA			
LEVEL	GROSS AREA	EXCLUDED AREA	NET GROSS AREA
UPPER	1477SF	0	1477SF
ENTRY	1751SF	0	1751SF
BASEMENT	1142SF	438SF	704SF
TOTAL	4370SF	438SF	3932SF

MAX GROSS AREA = SITE AREA x 0.45 = 8810 SF x 0.45 = 3964.5SF  
3964.5 SF MAX > 3932 SF PROPOSED, THEREFORE OK

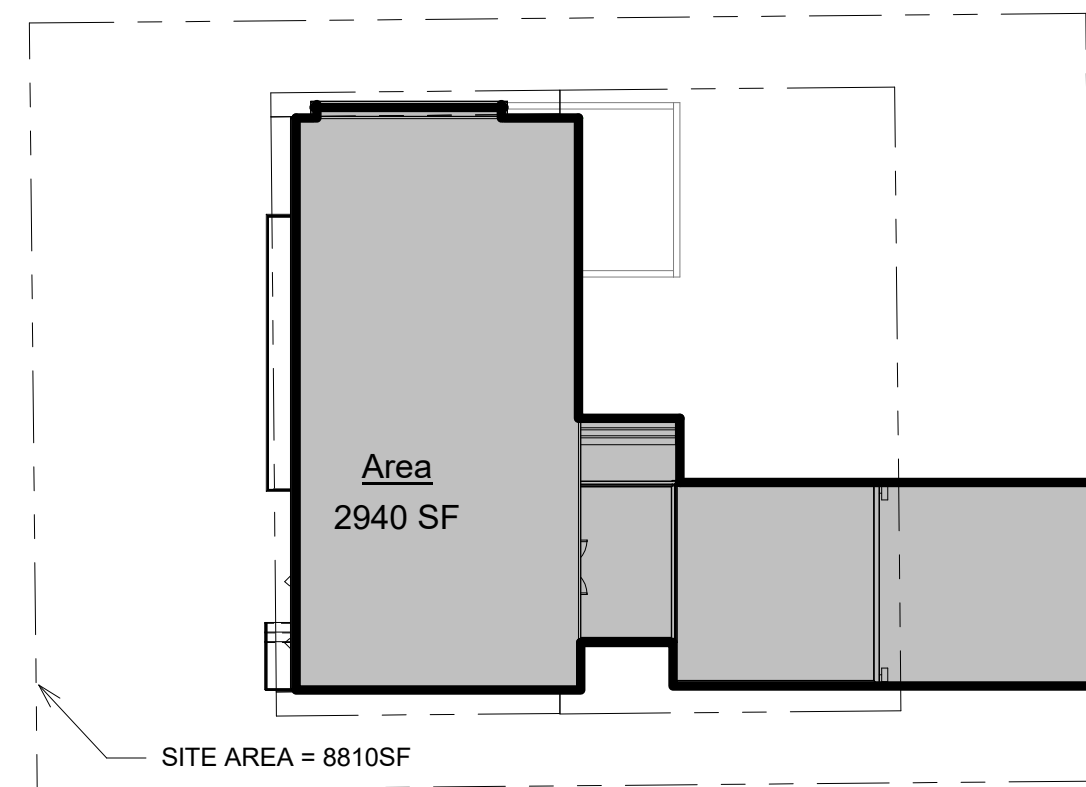
### BUILDING HEIGHT



SEGMENT	ELEVATION	LENGTH	L x ELEV.
A	77.15	56.17	4333.26
B	78.3	20.25	1585.58
C	85.8	39.50	3389.10
D	85.7	39.00	3342.30
E	86.0	21.17	1820.36
F	84.4	21.50	1814.60
G	84.7	4.50	381.15
H	80.6	37.75	3042.65
TOTAL		239.83	19709.00

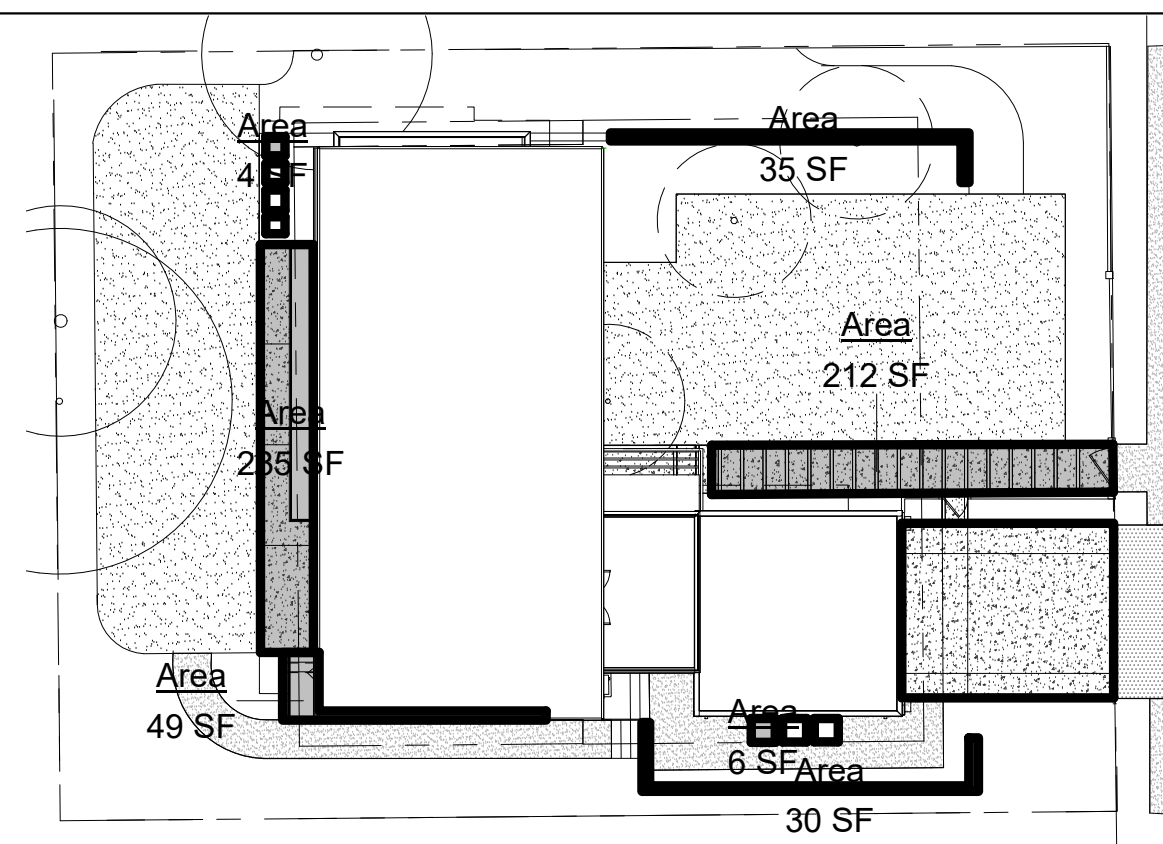
AVERAGE EXISTING GRADE 82.18  
MAX HEIGHT PER CODE 30.0  
MAXIMUM BUILDING HEIGHT 112.18

### LOT COVERAGE



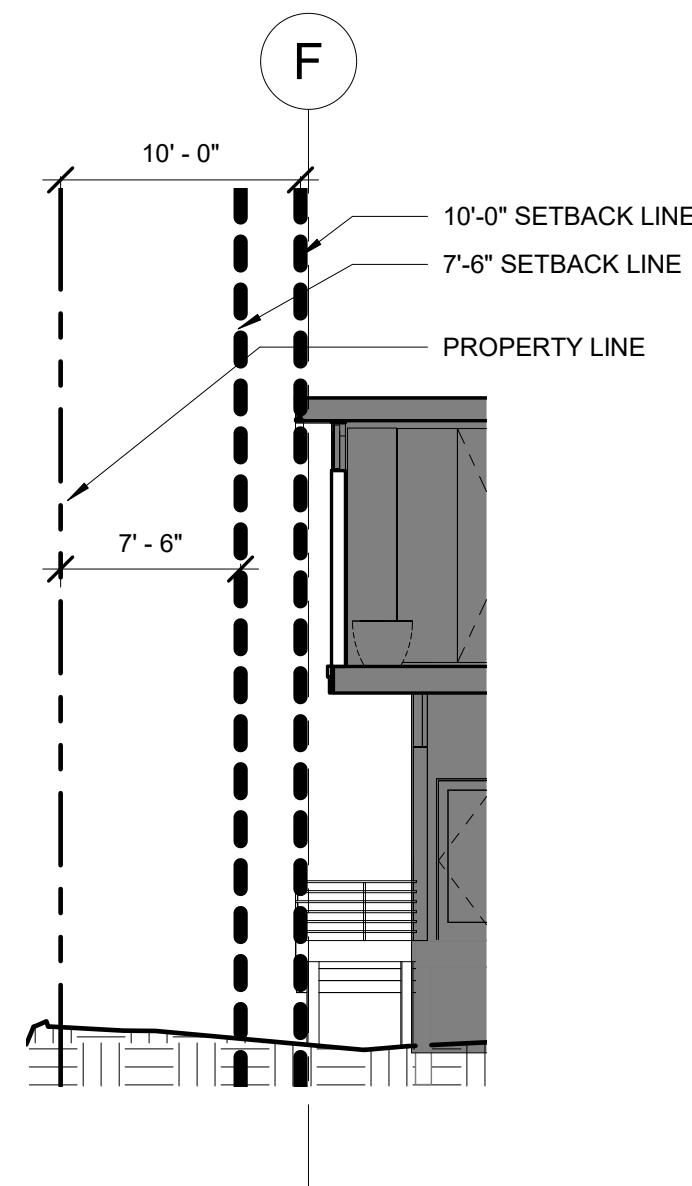
MAX LOT COVERAGE = SITE AREA x 40% = 8810sf x .40 = 3524 SF  
LOT COVERAGE INCLUDES DRIVEWAYS, ROOFS AND OVERHANGS = 2940 SF  
2940 SF < 3524 SF, THEREFORE OK

### HARDSCAPE



MAX HARDSCAPE = SITE AREA x 9% = 8810sf x .09 = 792.9 SF  
HARDSCAPE INCLUDES PATHWAYS, DECKS, ETC OUTSIDE OF ROOF OVERHANGS = 595 SF  
595 SF < 792.9 SF, THEREFORE OK

### SOUTHERN SIDE YARD SETBACK LINE

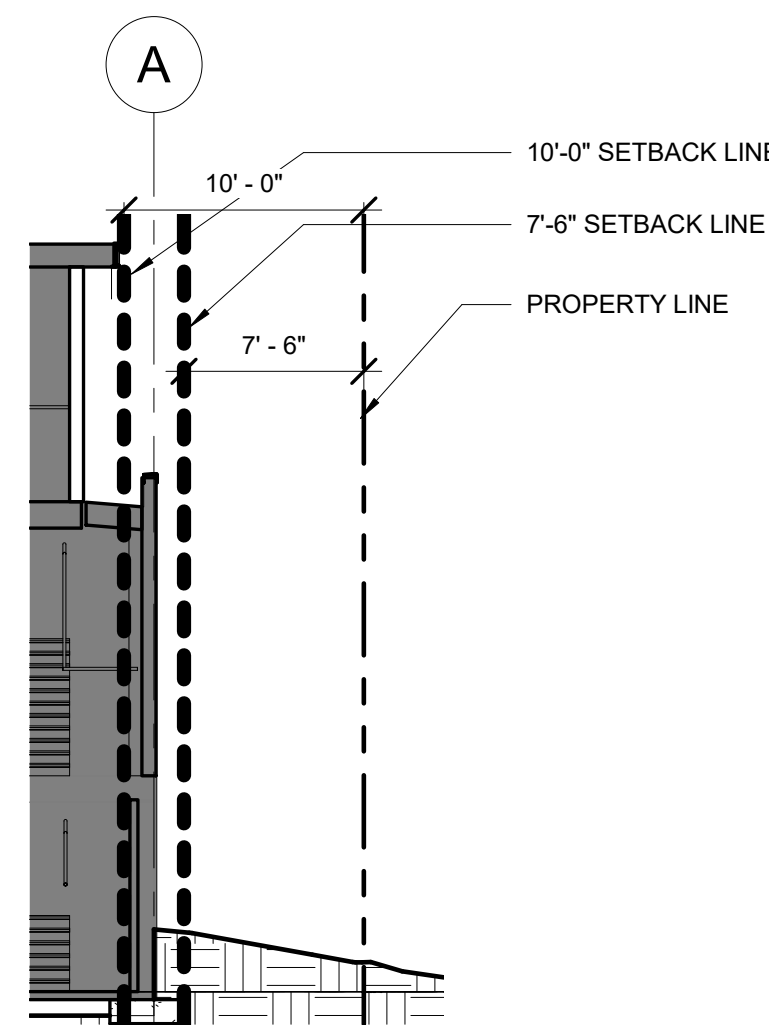


7'-6" SIDE YARD SET BACK LINE APPLY TO GARAGE ROOF SIDE  
10'-0" SIDE YARD SET BACK LINE APPLY TO SLOPED ROOF SIDE

### SOUTHERN ELEVATION

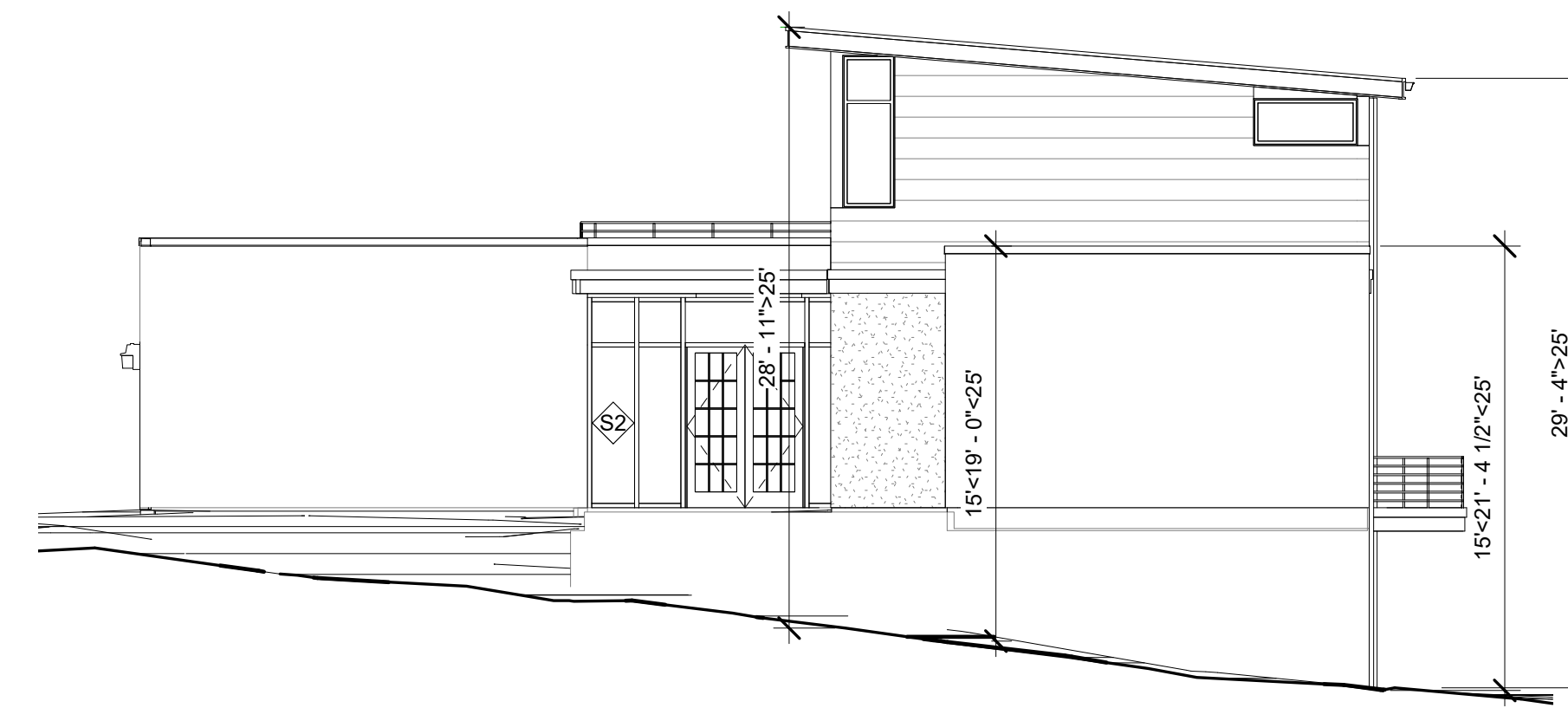


### NORTHERN SIDE YARD SETBACK LINE



7'-6" SIDE YARD SET BACK LINE APPLY FLAT ROOF SIDE  
10'-0" SIDE YARD SET BACK LINE APPLY TO SLOPED ROOF SIDE

### NORTHERN ELEVATION



PROJECT  
PAEK RESIDENCE

ADDRESS  
2215 80TH AVE SE  
MERCER ISLAND, WA 98040

CLIENT  
TIMOTHY PAEK

NO. ISSUED DATE

REVISIONS

DRAWING STATUS

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.



ARCHITECTURE  
600 108th Ave NE  
Suite 1108  
Bellevue WA 98004  
425.559.7888  
contact@mza.us

STAMP  
REGISTERED ARCHITECT  
Ming Zhang  
STATE OF WASHINGTON

DRAWING TITLE  
LAND USE CALCULATIONS

DRAWN Author DESIGNER Designer

DATE 05/22/18

GRAPHIC SCALE As indicated

PROJECT NO.  
18-009

DRAWING NO. A1.0 REVISION NO.

FILE NAME  
PLOT DATE

# TOPOGRAPHIC & BOUNDARY SURVEY

measure success

## LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED RECORDING# 20180116001125)  
LOTS 3 AND 4, BLOCK 21, MERCER PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 27, RECORDS OF KING COUNTY, WASHINGTON.  
SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

## BASIS OF BEARINGS

A BEARING OF S89°56'18"E ON THE CENTERLINE OF SE 22ND ST (TEMPLE ST), PER RECORD OF SURVEY AS RECORDED IN BOOK 221 OF SURVEYS, PAGE 66, RECORDS OF KING COUNTY, WA

## REFERENCES

1. RECORD OF SURVEY, BOOK 221, OF SURVEYS PAGE 66; REC#20070322900005; RECORDS OF KING COUNTY, WASHINGTON.
2. PLAT OF MERCER PARK, VOLUME 8, OF PLATS PAGE 27; RECORDS OF KING COUNTY, WASHINGTON.

## VERTICAL DATUM

NAVD 88  
FOUND REBAR AND CAP L&# NOT READABLE WITH TACK (DOWN 0.8'). LOCATED INTX. 80TH AVE SE & SE 22ND ST.  
ELEVATION ON CAP=79.94'

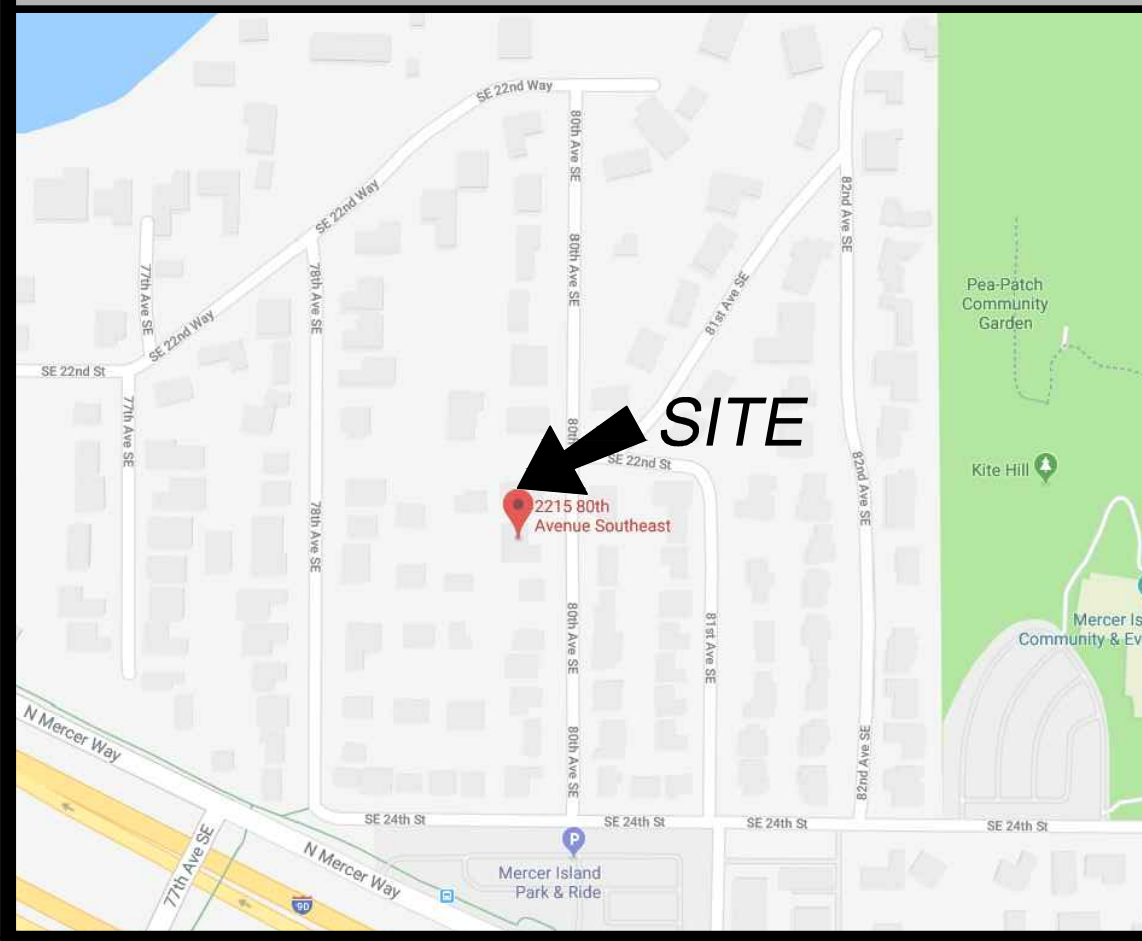
## SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN MARCH OF 2018. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. BURIED UTILITIES SHOWN BASED ON RECORDS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE IN THE FIELD. TERRANE ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS OR ACCEPT RESPONSIBILITY FOR UNDERGROUND LINES WHICH ARE NOT MADE PUBLIC RECORD. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.
4. SUBJECT PROPERTY TAX PARCEL NO. 545230-2145
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 8,810 ±S.F. (0.20 ACRES)- 8,800 ±S.F. PER KING COUNTY ASSESSOR'S.
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

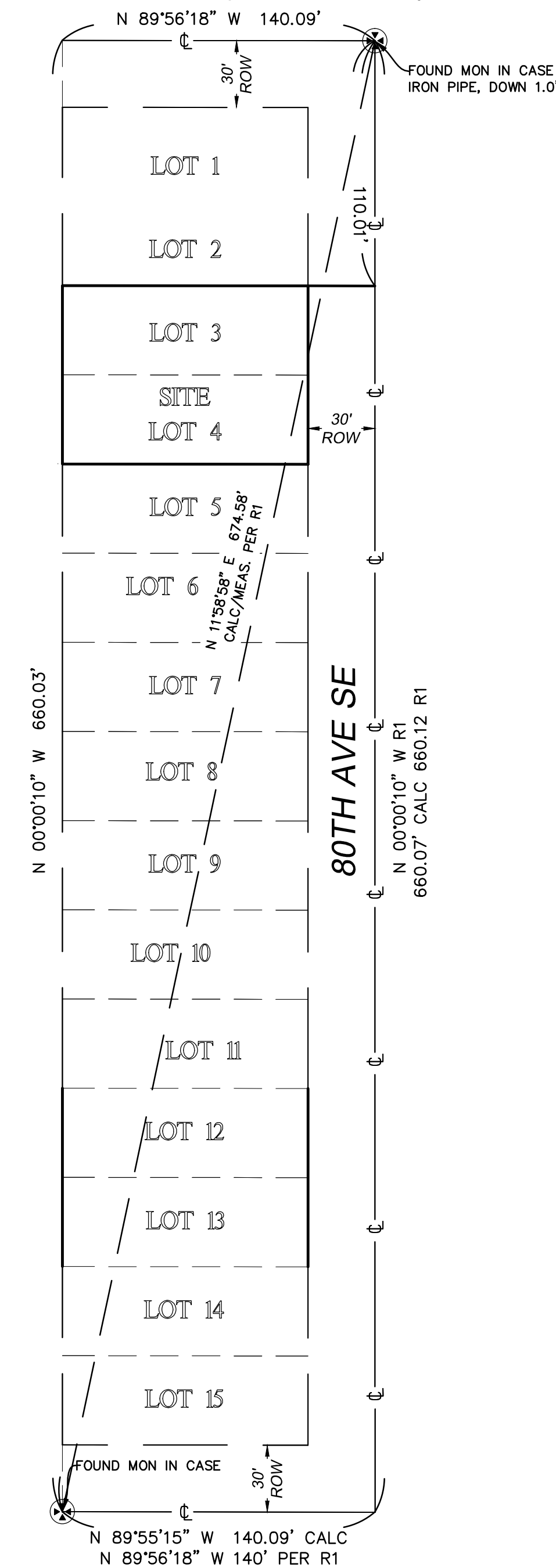
## LEGEND

	ASPHALT SURFACE		POWER METER
	BUILDING		REBAR AS NOTED (FOUND)
	CENTERLINE ROW		REBAR & CAP (SET)
	CONCRETE SURFACE		SEWER LINE
	RETAINING WALL		SEWER MANHOLE
	DECK		SIGN (AS NOTED)
	FENCE LINE (CHAIN LINK)		INLET (TYPE 1)
	FENCE LINE (WOOD)		STORM DRAIN LINE
	GRAVEL SURFACE		TREE (AS NOTED)
	MONUMENT IN CASE (FOUND)		WATER METER
			MAILBOX (RESIDENTIAL)

## VICINITY MAP N.T.S.

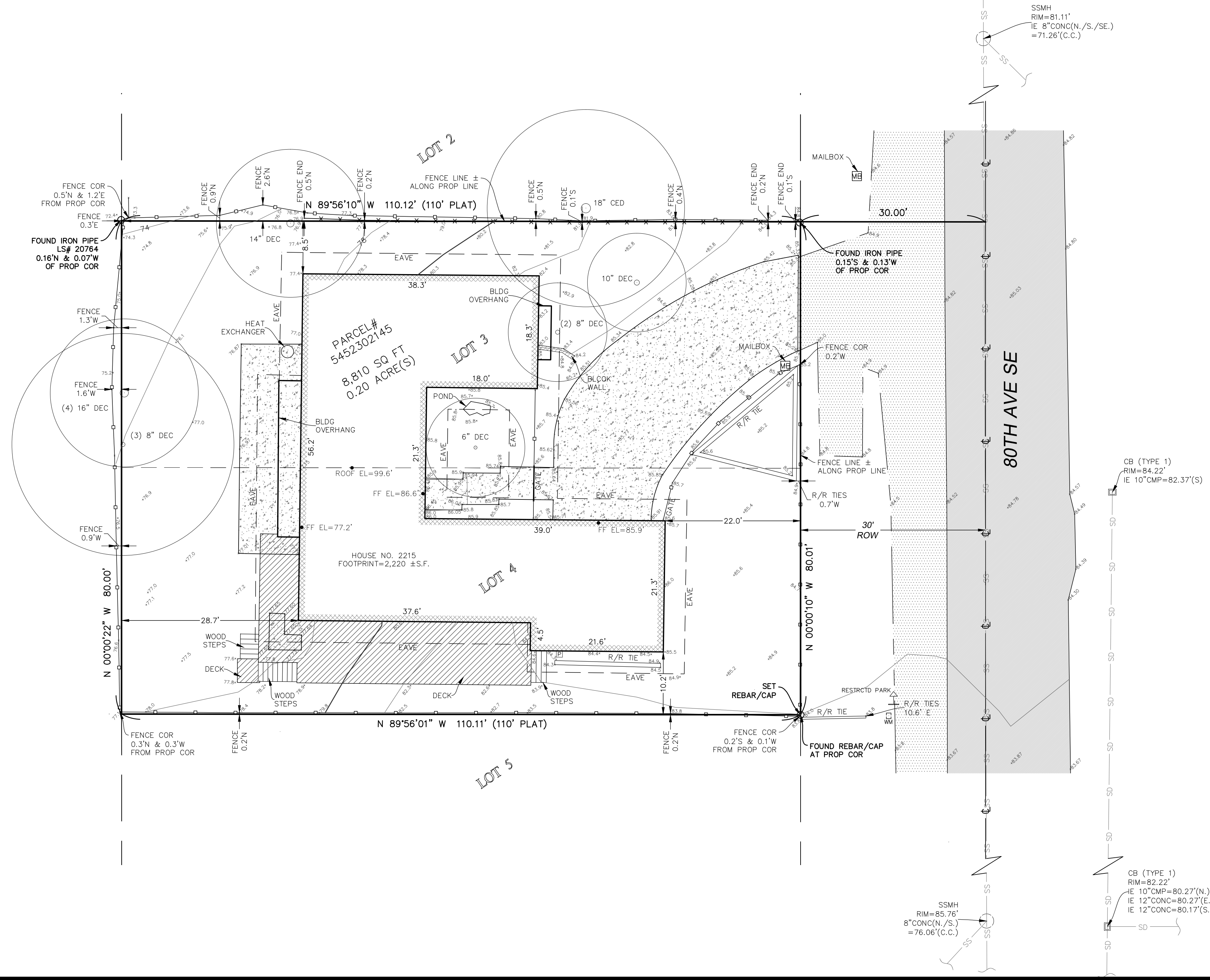


## SE 22ND ST (TEMPLE ST)



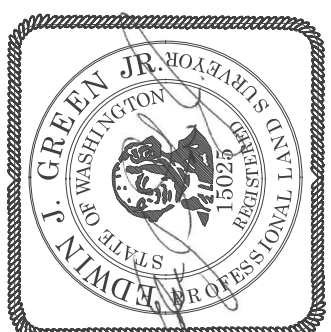
## SE 24TH ST (THOMPSON AVE)

CONTROL MAP  
N.T.S.



TOPOGRAPHIC & BOUNDARY SURVEY  
SE 1/4 OF SE 1/4 SEC 01, TWP. 24N., RGE 04E., W.M.  
PARCEL NO. 5452302145

PAEK RESIDENCE  
2215 80TH AVE SE  
MERCER ISLAND, WA 98040



**Terrane**  
10801 Main Street, Suite 102, Bellevue, WA 98004  
phone 425.458.4488 support@terrane.net  
www.terrane.net

JOB NUMBER:	180407
DATE:	03/23/18
DRAFTED BY:	IDV/PSC
CHECKED BY:	EJG/TMM
SCALE:	1" = 10'

### REVISION HISTORY

NO.	DESCRIPTION

SHEET NUMBER

1 OF 1



A PORTION OF A PORTION OF THE SE QUARTER OF SECTION 01, TOWNSHIP 24 N., RANGE 04 E., W.M.

**SOIL QUALITY GUIDLINES**

2014 SWMMW, BMP TS.13

- SOIL RETENTION. RETAIN, IN A UNDISTURBED STATE THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCK-PILE THE THE DUFF LAYER AND TOPSOIL, IF ANY, ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SIT WHERE FEASIBLE.
- SOIL QUALITY. ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:
  - A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 5-10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
  - MULCH PLANTING BEDS WITH 2 INCHES OF ORGANIC MATERIAL
  - USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT REQUIREMENTS:
    - THE ORGANIC CONTENT FOR "PRE-APPROVED" AMENDMENT RATES CAN ONLY BE MET USING COMPOST MEETING THE COMPOST SPECIFICATION FOR BIORETENTION WITH THE EXCEPTION THAT THE COMPOST MUST HAVE AN ORGANIC MATTER CONTENT OF 40 PERCENT TO 65 PERCENT, AND A CARBON TO NITROGEN RATIO BETWEEN 25:1. THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 35:1 FOR PLANTING COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET SOUND LOWLANDS REGION.
    - CALCULATED AMENDMENT RATES MAY BE ME THROUGH USE OF COMPOSTED MATERIALS AS DEFINED ABOVE, OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND NOT EXCEEDING THE CONTAMINANT LIMITS IDENTIFIED IN TABLE 220-B, TESTING PARAMETERS, IN WAC 173-350-220

**SOIL AMENDMENT OPTIONS**

2014 SWMMW, BMP TS.13

- IMPLEMENTATION OPTIONS: THE SOIL QUALITY DESIGN GUIDELINES LISTED ON THIS SHEET CAN BE MET BY USING ONE OF THE METHODS LISTED BELOW:
- OPTION 1: LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL, AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
  - OPTION 2: AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT "PRE-APPROVED" RATES, OR AT CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT.
  - OPTION 3: STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A DEFAULT "PRE-APPROVED" RATE OR AT A CUSTOM CALCULATED RATE.
  - OPTION 4: IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS.
- MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED TO BE AMENDED.

**SITE DATA**

PARCEL NUMBER: 545230-2145  
 SITE ADDRESS: 2215 80TH AVE SE  
 MERCER ISLAND, WA 98040  
 SITE AREA: 8,800 SF (RECORDED)  
 8,810 SF (SURVEYED)  
 ZONING: R-8.5  
 REQUIRED SETBACKS:  
 FRONT/GARAGE: 20 FT  
 BACK: 25 FT  
 INTERIOR: 10 FT EA (15 FT TOTAL)

**ON-SITE IMPERVIOUS**

NEW PLUS REPLACED  
 TRIBUTARY TO DETENTION TANK  
 SINGLE FAMILY ROOFTOP 2,495 SF (0.057 AC TO PUMP)  
 CONCRETE DRIVE 437 SF  
 TOTAL 2,932 SF (0.067 AC)  
 SHEET FLOW DISPERSION  
 EXPOSED WALKWAYS 233 SF

**PROJECT IMPACTS**

EXISTING (ALL TO BE REMOVED)  
 SINGLE FAMILY ROOFTOP 3,629 SF  
 SIDEWALK 0 SF  
 BACK PATIO 112 SF  
 DECK 317 SF  
 SITE DRIVEWAY 850 SF  
 TOTAL 4,908 SF  
 REPLACED  
 SINGLE FAMILY ROOFTOP 2,495 SF  
 SIDEWALK 233 SF  
 DECK 49 SF  
 TOTAL REPLACED 2,777 SF  
 NEW  
 DRIVEWAY 437 SF  
 TOTAL NEW 437 SF  
 NEW + REPLACED 3,214 SF

**EARTHWORK QUANTITIES**

CUT 0 CY  
 FILL 80 CY  
 NET 80 CY (FILL)

EARTHWORK VOLUMES SHOWN ARE ESTIMATES ONLY. CONTRACTOR SHALL VERIFY VOLUMES AS NEEDED.

**FOOTING DRAIN NOTE**

ALL FOOTING WALLS SHALL BE PROVIDED WITH A DRAIN AT THE BASE OF THE FOOTING ELEVATION. DRAINS SHOULD CONSIST OF RIGID PVC PIPE SURROUNDED BY WASHED PEA GRAVEL. THE LEVEL OF THE PERFORATIONS IN THE PIPE SHOULD BE SET AT OR SLIGHTLY BELOW THE BOTTOM OF THE FOOTING AND THE DRAINS SHOULD BE CONSTRUCTION WITH SUFFICIENT GRADIENT TO ALLOW GRAVITY DISCHARGE AWAY FROM THE BUILDING. DAYLIGHT FOOTING DRAIN DOWNSTREAM FROM HOUSE SEPARATE FROM THE PROPOSE FLOW CONTROL BMPs AND AFTER THE DETENTION SYSTEM.

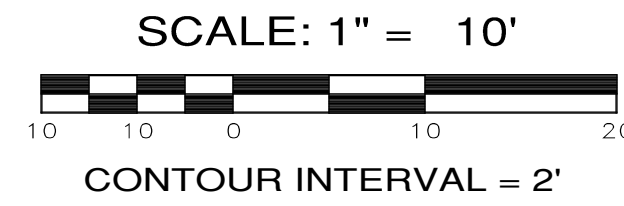
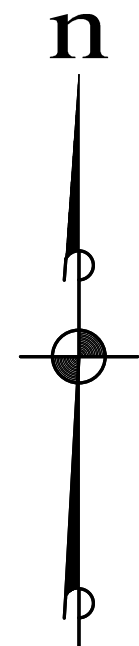
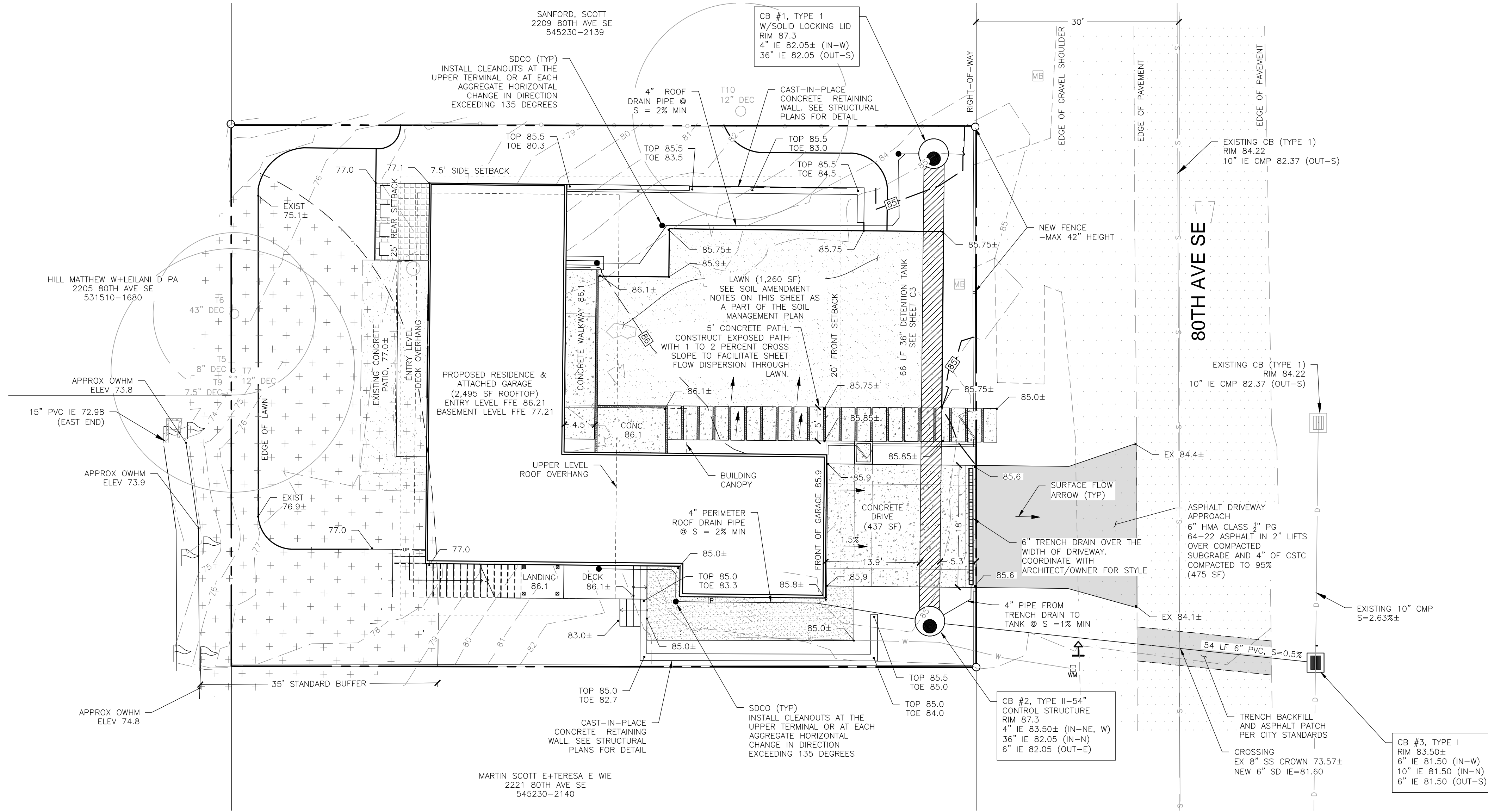
**LEGAL DESCRIPTION**

PER STATUTORY WARRANTY DEED RECORDING# 20180116001125

LOTS 3 AND 4, BLOCK 21, MERCER PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 9 OF PLATS, PAGE 27, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

SEE THE TOPOGRAPHY MAP PREPARED BY TERRANE LAND SURVEYING FOR THIS PROJECT FOR FURTHER PROJECT DESCRIPTION, CONTROL, AND EXISTING TOPOGRAPHY INFORMATION.



**REVISIONS**

NO.	DESCRIPTION/DATE	BY

**BRANDON MICHAEL LORAN**  
 LICENSED PROFESSIONAL ENGINEER  
 4/30/2019

**ESM CONSULTING ENGINEERS LLC**  
 23400 8th Ave S, Suite 205  
 Federal Way, WA 98003  
 FEDERAL WAY (203) 838-6113  
 EVERETT (425) 297-9900

**www.esmcivil.com**  
 Land Surveying  
 Project Management  
 Land Planning  
 Landscape Architecture  
 Civil Engineering  
 Public Works

**MZA ARCHITECTURE**  
**PAEK RESIDENCE**  
 DRAINAGE & GRADING PLAN

CITY OF MERCER ISLAND, WASHINGTON

JOB NO.: 1954-003-018  
 DWG. NAME:  
 DESIGNED BY: BML  
 DRAWN BY: BML  
 CHECKED BY:  
 DATE: 04/30/2019  
 DATE OF PRINT:  
**C2**  
 OF SHEETS

CALL 48 HOURS BEFORE YOU DIG  
 811

A PORTION OF A PORTION OF THE SE QUARTER OF SECTION 01, TOWNSHIP 24 N., RANGE 04 E., W.M.

REVISIONS		
NO.	DESCRIPTION/DATE	BY

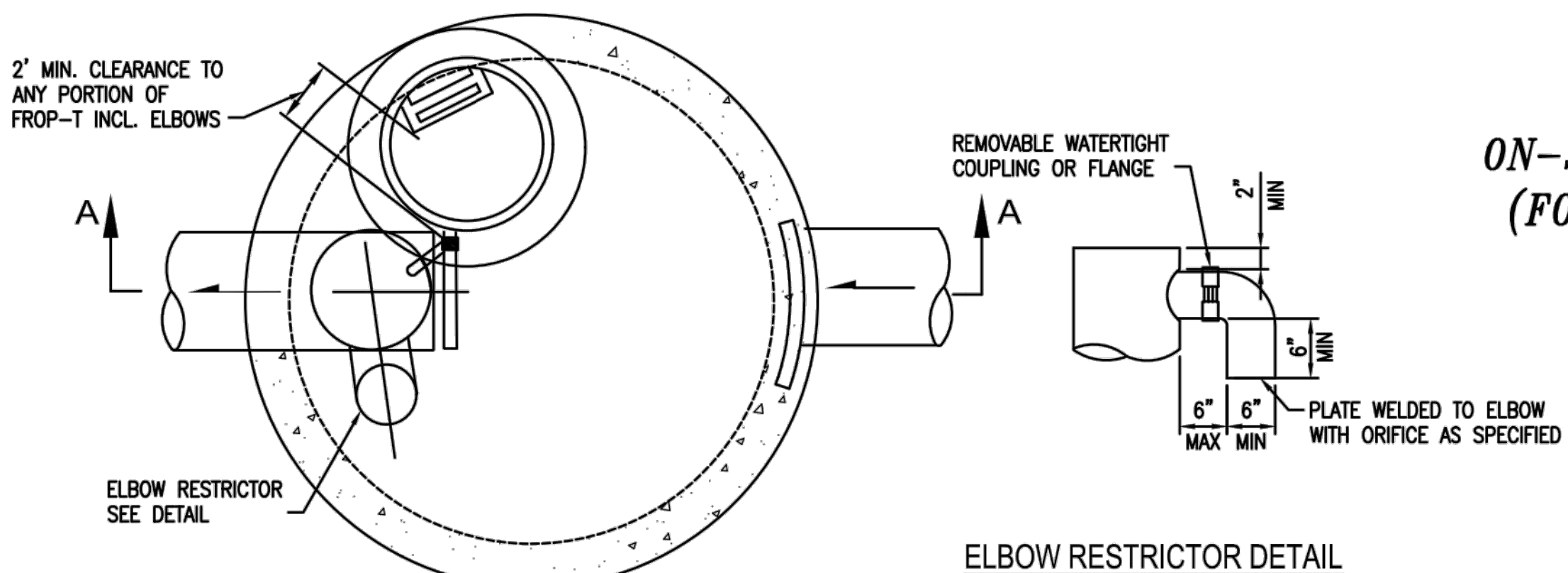


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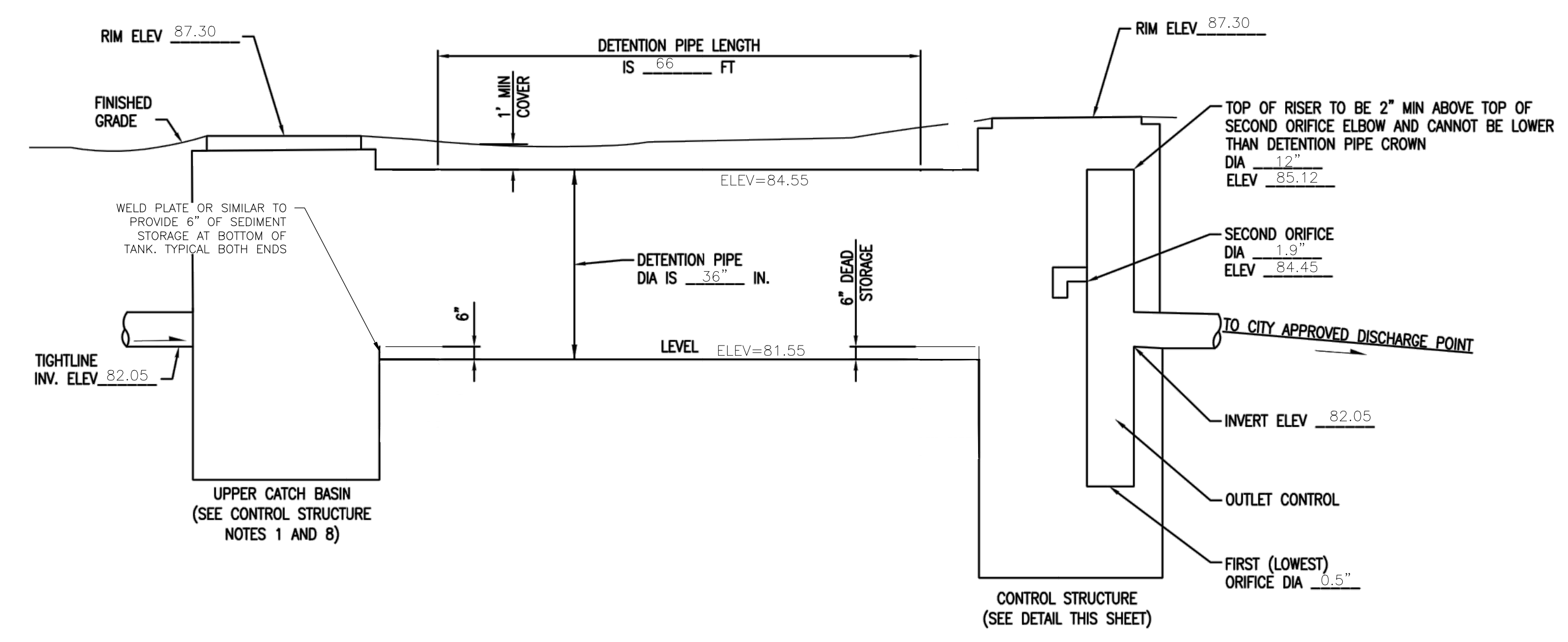
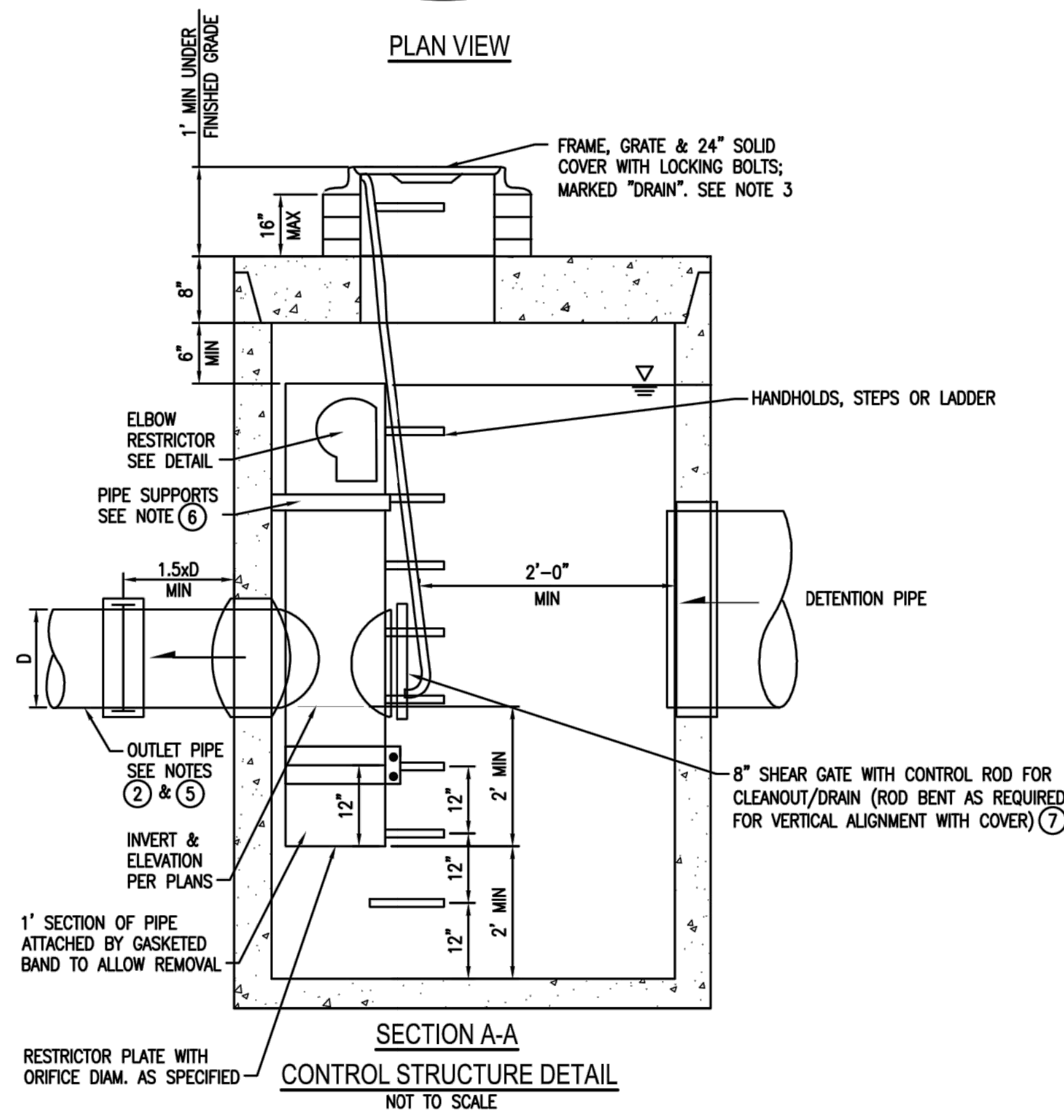
MZA ARCHITECTURE  
**PAEK RESIDENCE**  
 NOTES & DETAILS  
 WASHINGTON  
 CITY OF MERCER ISLAND.

JOB NO.: 1954-003-018  
 DWG. NAME:  
 DESIGNED BY: BML  
 DRAWN BY: BML  
 CHECKED BY:  
 DATE: 04/30/2019  
 DATE OF PRINT:  
**C3**  
 OF SHEETS

**ATTACHMENT 1**  
**CITY OF MERCER ISLAND**  
**ON-SITE DETENTION SYSTEM WORKSHEET**  
**(FOR NEW PLUS REPLACED IMPERVIOUS**  
**AREA OF 9,500 SF OR LESS)**



OWNER: <u>TIM &amp; ELLEN PAEK</u>	ADDRESS: <u>2215 80TH AVE SE</u>	PREPARED BY: <u>ESM CONSULTING ENGINEERS</u>
PERMIT #:	<u>MERCER ISLAND, 98040</u>	PHONE: <u>(253) 838-6113</u>
		DATE: <u>04/24/2019</u>
NEW PLUS REPLACED IMPERVIOUS SURFACE AREA (SF): <u>2,891 (TRIBUTARY)</u>	DETENTION PIPE DIA (INCH): <u>.36"</u>	DETENTION PIPE LENGTH (FT): <u>.66'</u>
SOIL TYPE: <u>C</u>	PIPE MATERIAL: <u>CMP</u>	ORIFICE #1 DIA <u>.05</u> INCH, ELEV <u>80.05</u>
		ORIFICE #2 DIA <u>1.9</u> INCH, ELEV <u>84.45</u>



**ON-SITE DETENTION SYSTEM**  
 NOT TO SCALE (ENGINEER TO FILL IN BLANKS)

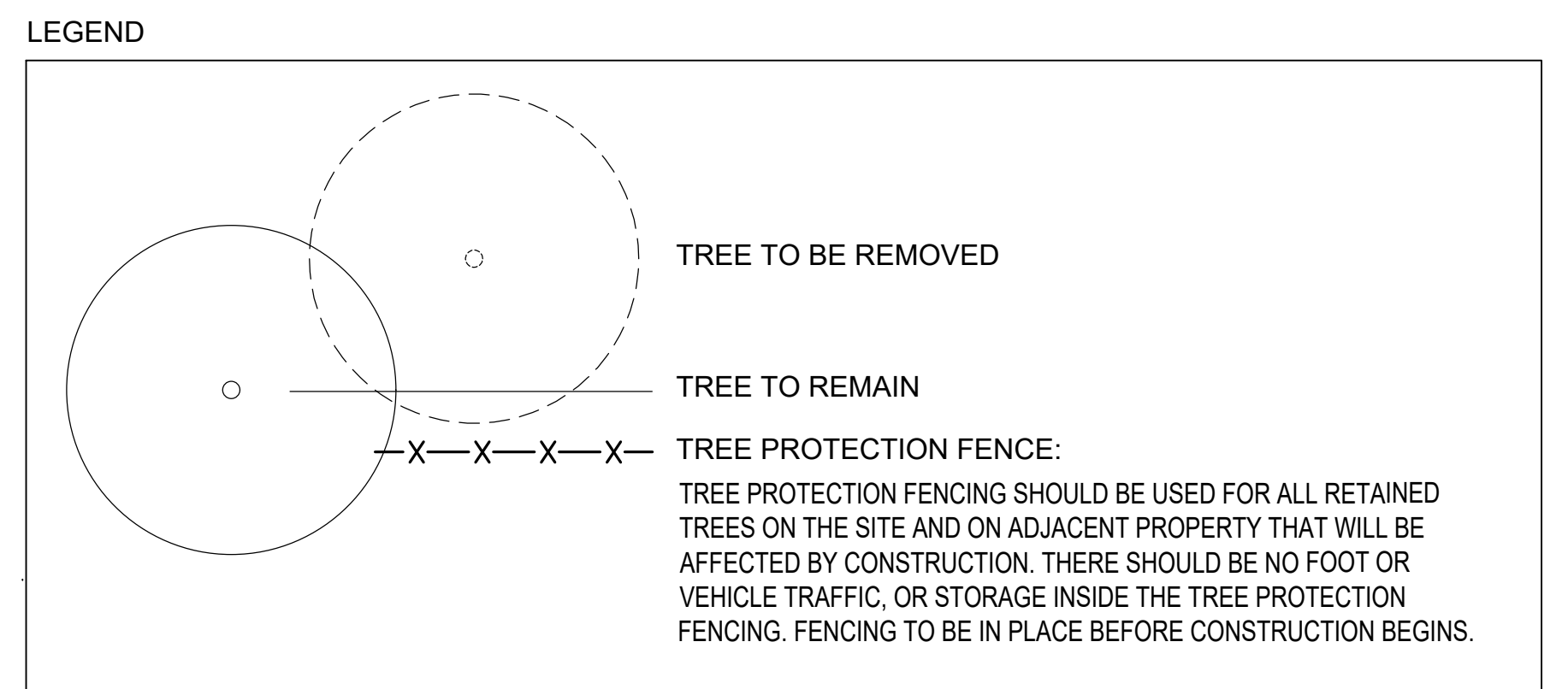
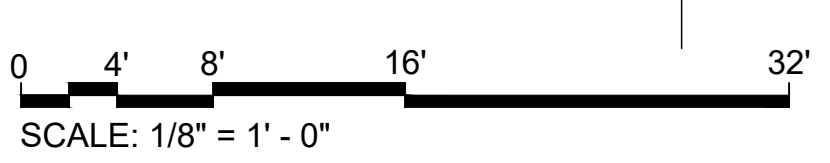
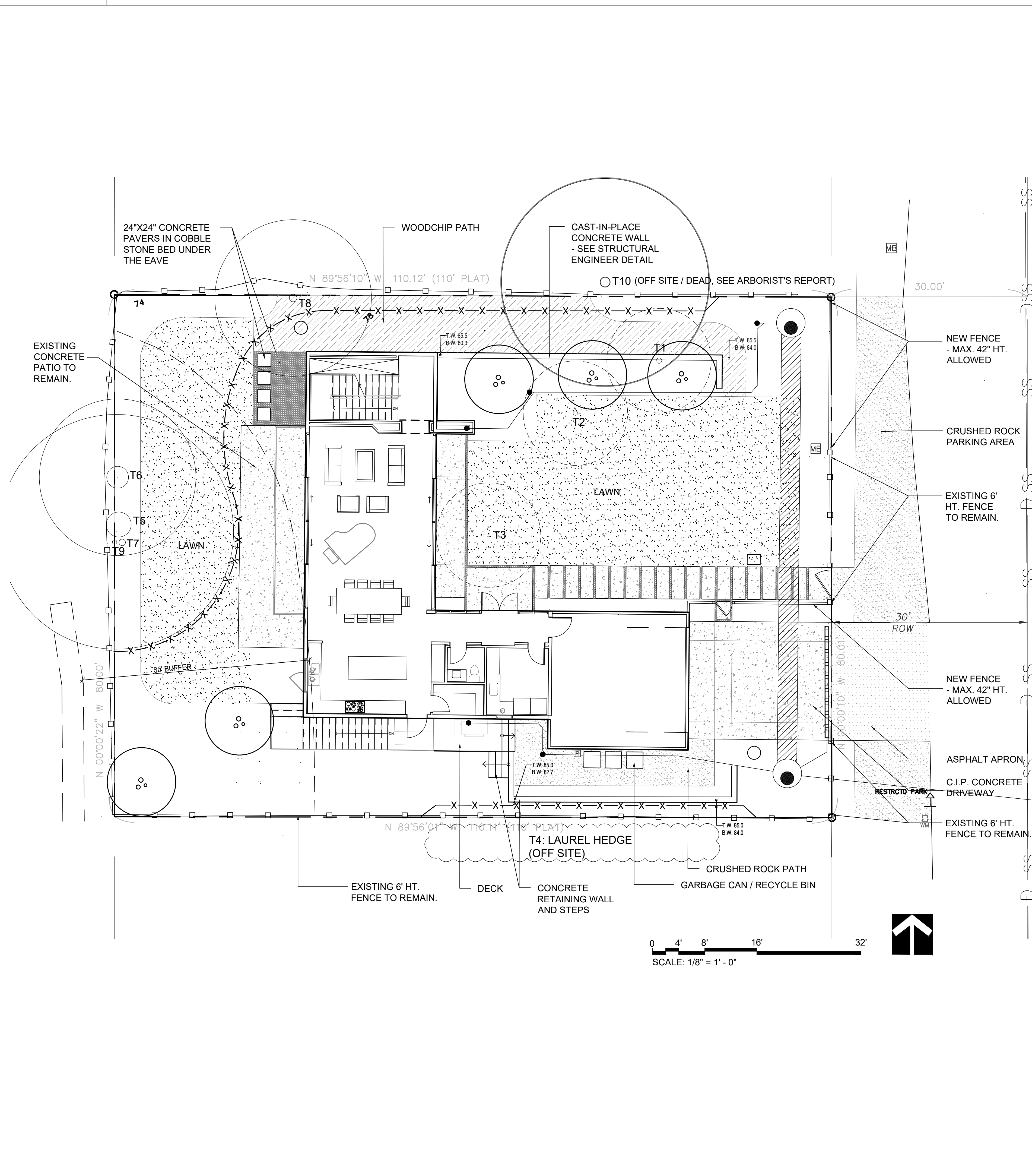
**CONTROL STRUCTURE NOTES:**

- ① USE A MINIMUM OF A 54 IN. DIAM. TYPE 2 CATCH BASIN. THE ACTUAL SIZE IS DEPENDENT ON CONNECTING PIPE MATERIAL AND DIAMETER.
- ② OUTLET PIPE: MIN. 6 INCH.
- ③ METAL PARTS: CORROSION RESISTANT. NON-GALVANIZED PARTS PREFERRED. GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT 1.
- ④ FRAME AND LADDER OR STEPS OFFSET SO:
  - A. CLEANOUT GATE IS VISIBLE FROM TOP;
  - B. CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE;
  - C. FRAME IS CLEAR OF CURB.
- ⑤ IF METAL OUTLET PIPE CONNECTS TO CEMENT CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4 IN.
- ⑥ PROVIDE AT LEAST ONE 3 X 0.090 GAUGE SUPPORT BRACKET ANCHORED TO CONCRETE WALL WITH 5/8 IN. STAINLESS STEEL EXPANSION BOLTS OR EMBEDDED SUPPORTS 2 IN. INTO CATCH BASIN WALL (MAXIMUM 3'-0" VERTICAL SPACING).
- ⑦ THE SHEAR GATE SHALL BE MADE OF ALUMINUM ALLOY IN ACCORDANCE WITH ASTM B 26M AND ASTM B 275, DESIGNATION ZG32A; OR CAST IRON IN ACCORDANCE WITH ASTM A 48, CLASS 30B. THE LIFT HANDLE SHALL BE MADE OF A SIMILAR METAL TO THE GATE (TO PREVENT GALVANIC CORROSION), IT MAY BE OF SOLID ROD OR HOLLOW TUBING, WITH ADJUSTABLE HOOK AS REQUIRED. A NEOPRENE RUBBER GASKET IS REQUIRED BETWEEN THE RISER MOUNTING FLANGE AND THE GATE FLANGE. INSTALL THE GATE SO THAT THE LEVEL-LINE MARK IS LEVEL WHEN THE GATE IS CLOSED. THE MATING SURFACES OF THE LID AND THE BODY SHALL BE MACHINED FOR PROPER FIT. ALL SHEAR GATE BOLTS SHALL BE STAINLESS STEEL.
- ⑧ THE UPPER CATCH BASIN IS REQUIRED IF THE LENGTH OF THE DETENTION PIPE IS GREATER THAN 50 FT.

**ON-SITE DETENTION SYSTEM NOTES:**

1. CALL DEVELOPMENT SERVICES (206-275-7605) 24 HOURS IN ADVANCE FOR A DETENTION SYSTEM INSPECTION BEFORE BACKFILLING AND FOR FINAL INSPECTIONS.
2. RESPONSIBILITY FOR OPERATION AND MAINTANANCE OF DRAINAGE SYSTEMS ON PRIVATE PROPERTY IS RESPONSIBILITY OF THE PROPERTY OWNER. MATERIAL ACCUMULATED IN THE STORAGE PIPE MUST BE REMOVED FROM CATCH BASINS TO ALLOW PROPER OPERATION. THE OUTLET CONTROL ORIFICE MUST BE KEPT OPEN AT ALL TIMES.
3. PIPE MATERIAL, JOINT, AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE WITH SECTION 7.04 AND 9.05 OF THE WSDOT STANDARD SPECIFICATION FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, LATEST VERSION. SUCH MATERIALS INCLUDE THE FOLLOWING, LINED CORRUGATED POLYETHYLENE PIPE (LCP), ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE AND PIPE ARCH (MEETS AASHTO DESIGNATIONS M274 AND M36), CORRUGATED OR SPIRAL RIB ALUMINUM PIPE, OR REINFORCED CONCRETE PIPE. CORRUGATED STEEL PIPE IS NOT ALLOWED.
4. FOOTING DRAINS SHALL NOT BE CONNECTED TO THE DETENTION SYSTEM.





**TOTAL EXISTING TREES ON SITE**

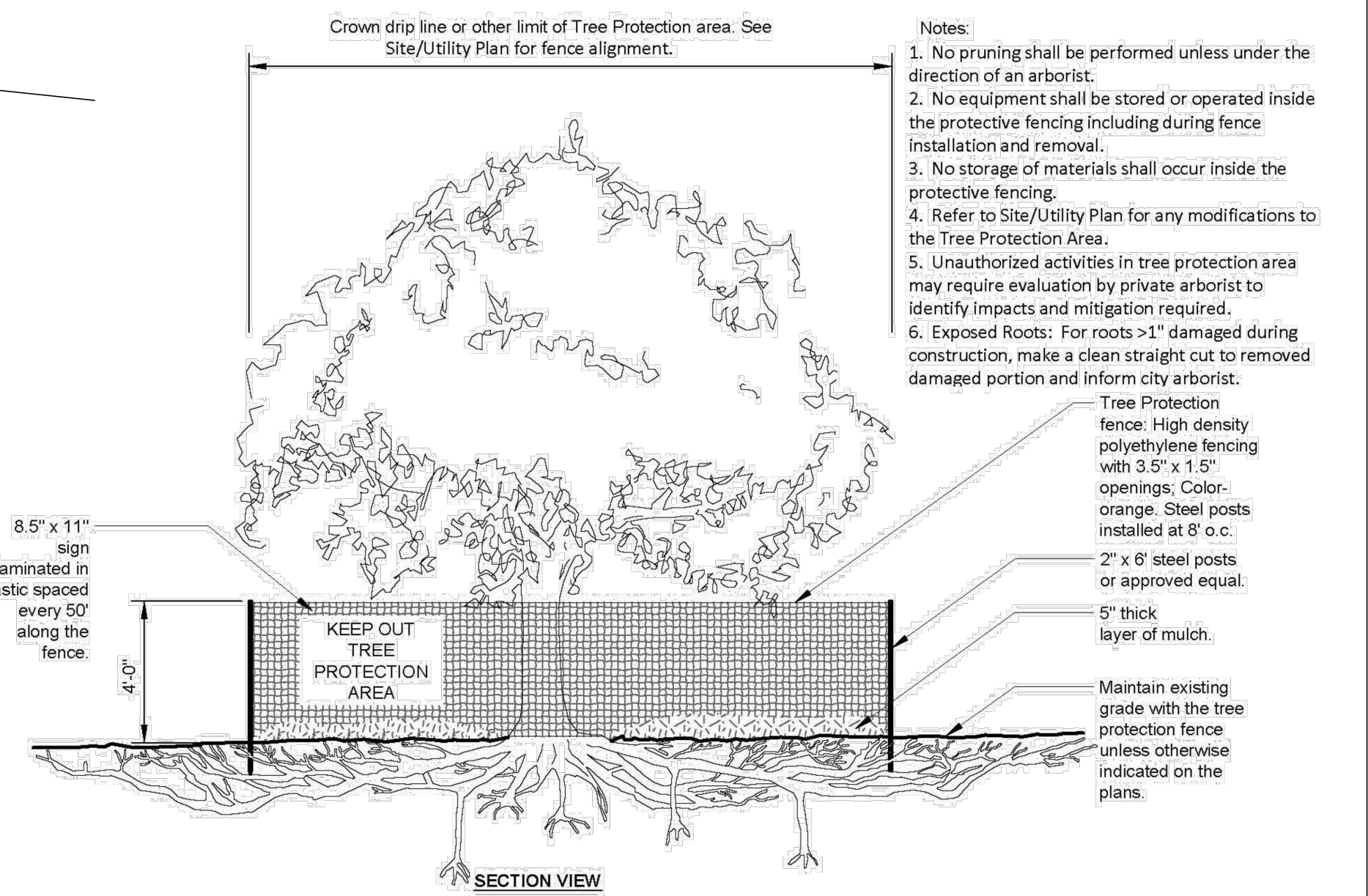
KEY #	DBH / TYPE	CLASSIFICATION	STATUS	# OF REPLACEMENT TREE REQUIRED
T1	10" DBH MALUS SP. / APPLE	LARGE	REMOVE	2
T2	15" DBH MALUS SP. / APPLE	LARGE	"	2
T3	8" DBH PRUNUS SP. / CHERRY	SMALL	"	1
T5	47" DBH POPLUS NIGRA / LOMBARDY POPLAR	EXCEPTIONAL	RETAIN	"
T6	43" DBH POPLUS NIGRA / LOMBARDY POPLAR	EXCEPTIONAL	"	"
T7	12" DBH FRAXINUS SP. / ASH	LARGE	"	"
T8	17" DBH PRUNUS LAUROCERASUS / LAUREL	LARGE	"	"
T9	7.5" DBH ACER MACROPHYLLUM / BIG LEAF MAPLE	LARGE	"	"

**TOTAL # OF REPLACEMENT TREE REQUIRED: 5**

**TOTAL EXISTING LARGE / EXCEPTIONAL TREES ON SITE: 7 TREES**  
**TOTAL EXISTING LARGE / EXCEPTIONAL TREES TO BE RETAINED: 5 TREES**  
 (5/7\*100 = 71.4% RETAINED)  
 MIN. 30% REQUIRED. THEREFORE OK

**REPLACEMENT TREE SCHEDULE**

SYMBOL	BOTANICAL/Common NAME	SIZE	QTY.	REMARKS
<b>TREES</b>				
○●	Acer circinatum Vine Maple	Min. 1.5" Cal. at base of trunk	5	Multi-trunk, full habit, well branched
<b>TOTAL 5 TREES</b>				
<b>5 TREES REQUIRED, THEREFORE OK</b>				



**A TREE PROTECTION FENCE DETAIL**  
SCALE: NTS

PROJECT  
PAEK RESIDENCE

ADDRESS  
2215 80TH AVE SE  
MERCER ISLAND, WA 98040

CLIENT  
TIMOTHY PAEK

NO.	ISSUED	DATE

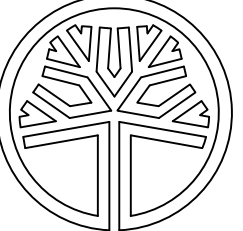
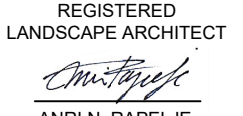
REVISIONS

DRAWING STATUS

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**ANR**  
LANDSCAPE DESIGN

22310 98th Ave. W  
Edmonds, WA 98020  
p. 206.818.3610

  
STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT  
  
ANRI N. RAPELLIE CERTIFICATE NO. 1055

STAMP

DRAWING TITLE  
**LANDSCAPE PLAN**

DRAWN  
ANR

DESIGNED  
ANR

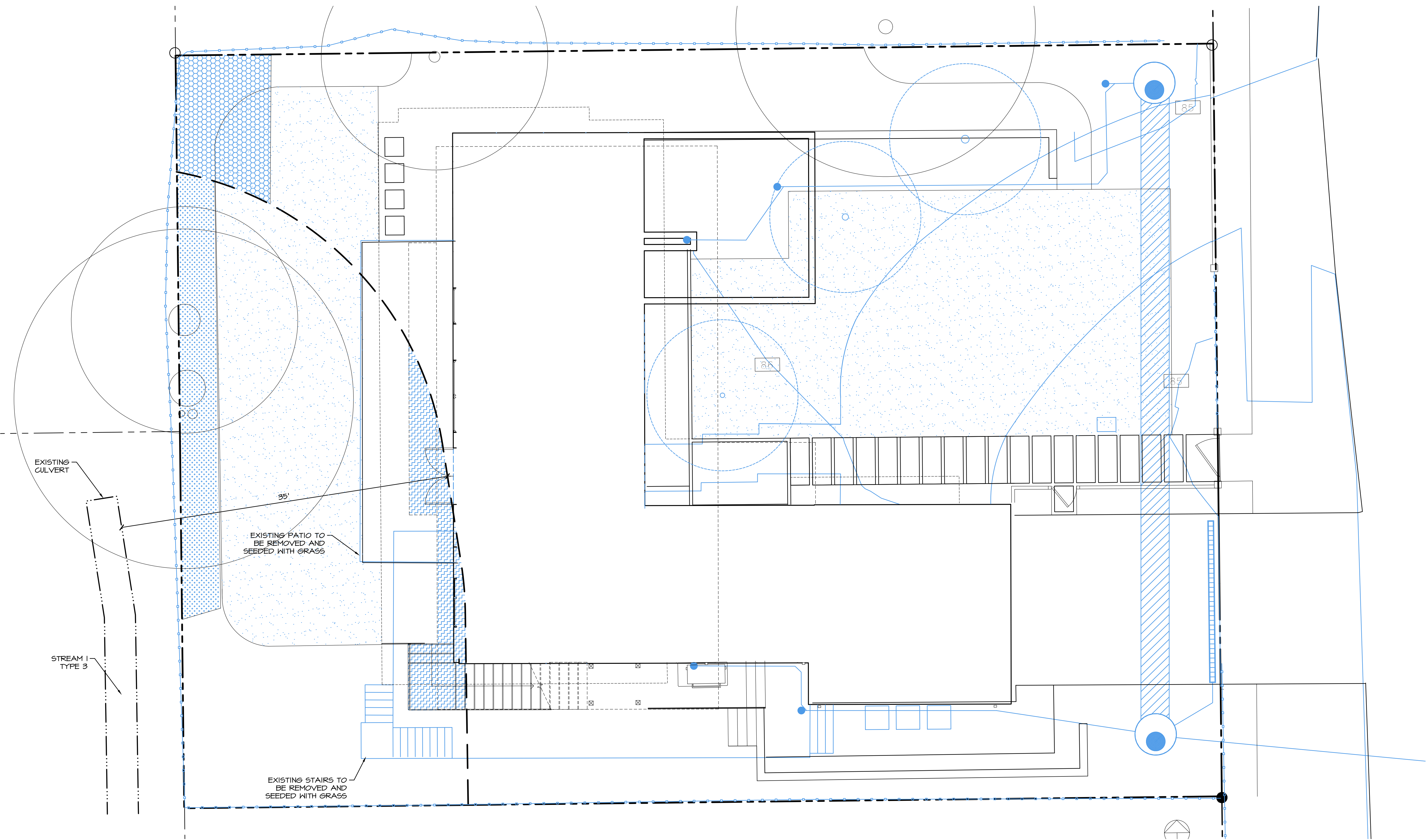
DATE  
04/30/19

GRAPHIC  
SCALE  
As indicated

PROJECT NO.  
18-009

DRAWING NO.  
L1.0

REVISION NO.



**PLAN LEGEND**

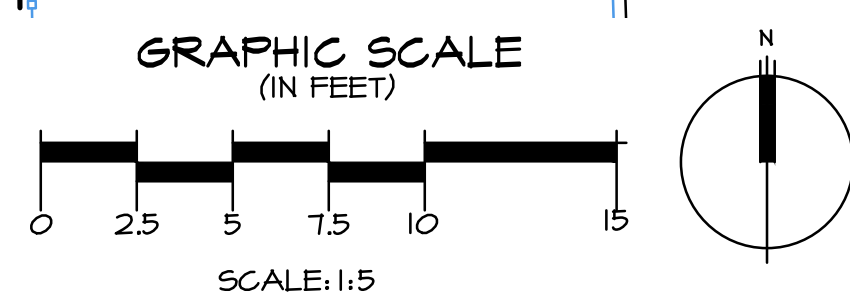
- PROPERTY LINE
- - - - - ORDINARY HIGH WATER LINE OF TYPE 3 STREAM
- - - - - 35' STANDARD STREAM BUFFER

**IMPACT LEGEND**

- [Hatched Pattern] BUFFER REDUCTION 141 SF

**MITIGATION LEGEND**

- [Dotted Pattern] BUFFER REPLACEMENT 141 SF
- [Cross-hatched Pattern] STREAM BUFFER ENHANCEMENT 187 SF



**GENERAL NOTES**

1. BASE INFORMATION PROVIDED BY MZA ARCHITECTURE, 600 108TH AVE NE, SUITE 108, BELLEVUE, WA 98004, (425) 554-7000.

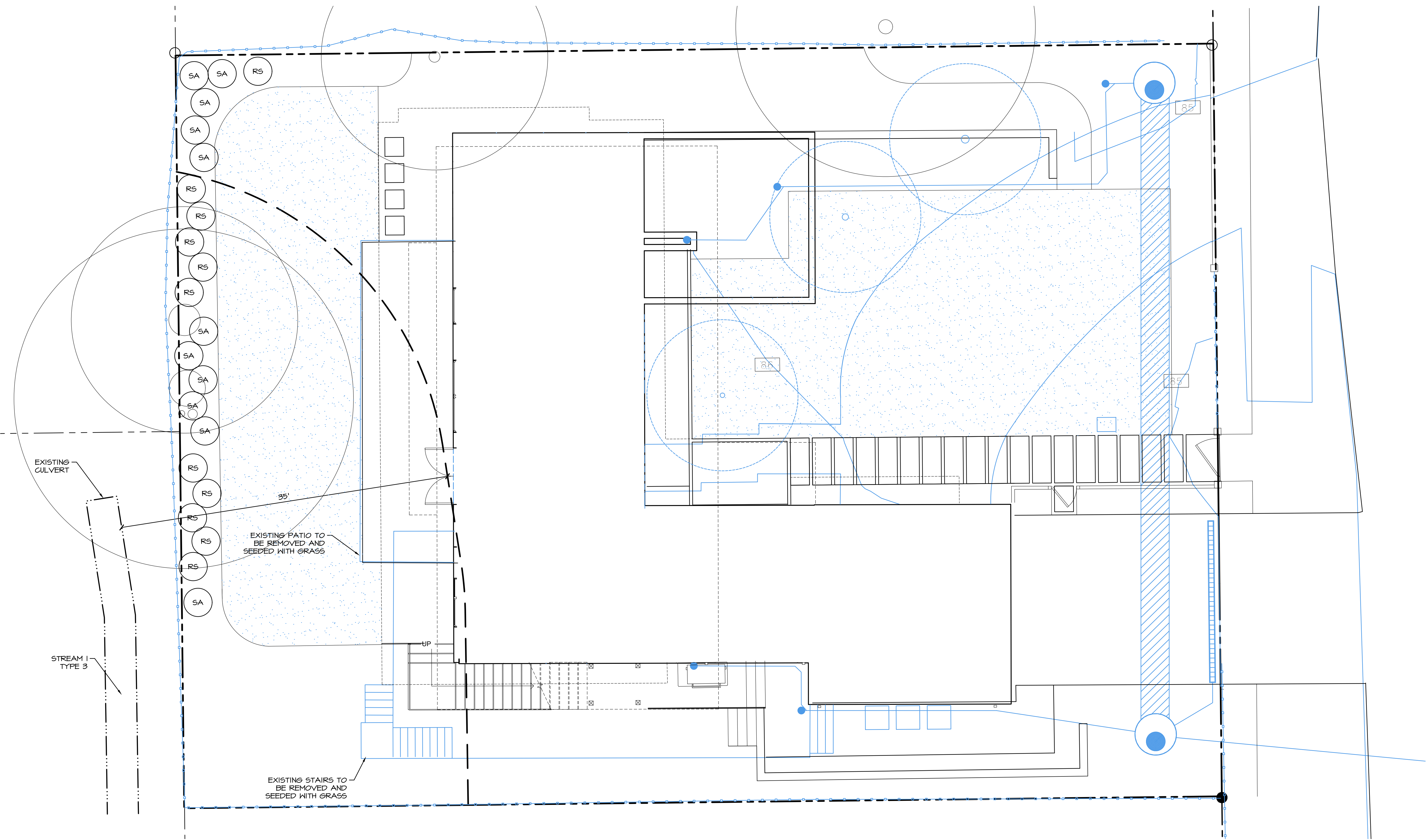
Revisions	Date	By

Date 04-30-19  
 Scale AS NOTED  
 Project # 5200

**PLANTING PLAN  
PAEK RESIDENCE  
2215 80TH AVE SE  
MERCER ISLAND, WA 98040**

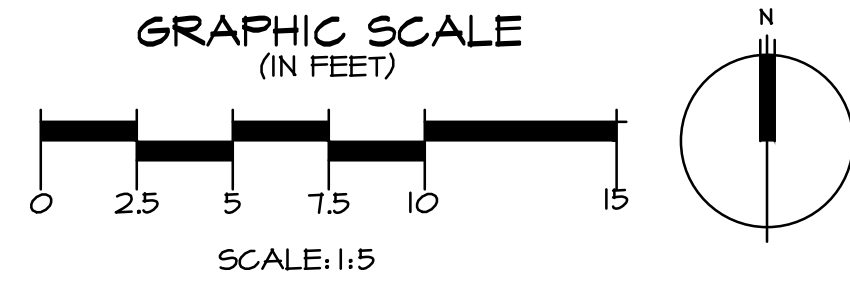
Revisions	Date	By

Date 04-30-19  
Scale AS NOTED  
Project # 5200



**PLANT SCHEDULE**

SHRUBS						
KEY	SCIENTIFIC NAME	COMMON NAME	SPACING	QTY.	SIZE (MIN.)	NOTES
RS	RIBES SANGUINEUM	RED CURRANT	3' O.C.	11	1 GAL.	MULTI-STEM (3 MIN.)
SA	SYMPHORICARPOS ALBUS	SNOWBERRY	3' O.C.	11	1 GAL.	MULTI-STEM (3 MIN.)



**GENERAL NOTES**

1. BASE INFORMATION PROVIDED BY MZA ARCHITECTURE, 600 108TH AVE NE, SUITE 108, BELLEVUE, WA 98004, (425) 554-7000.

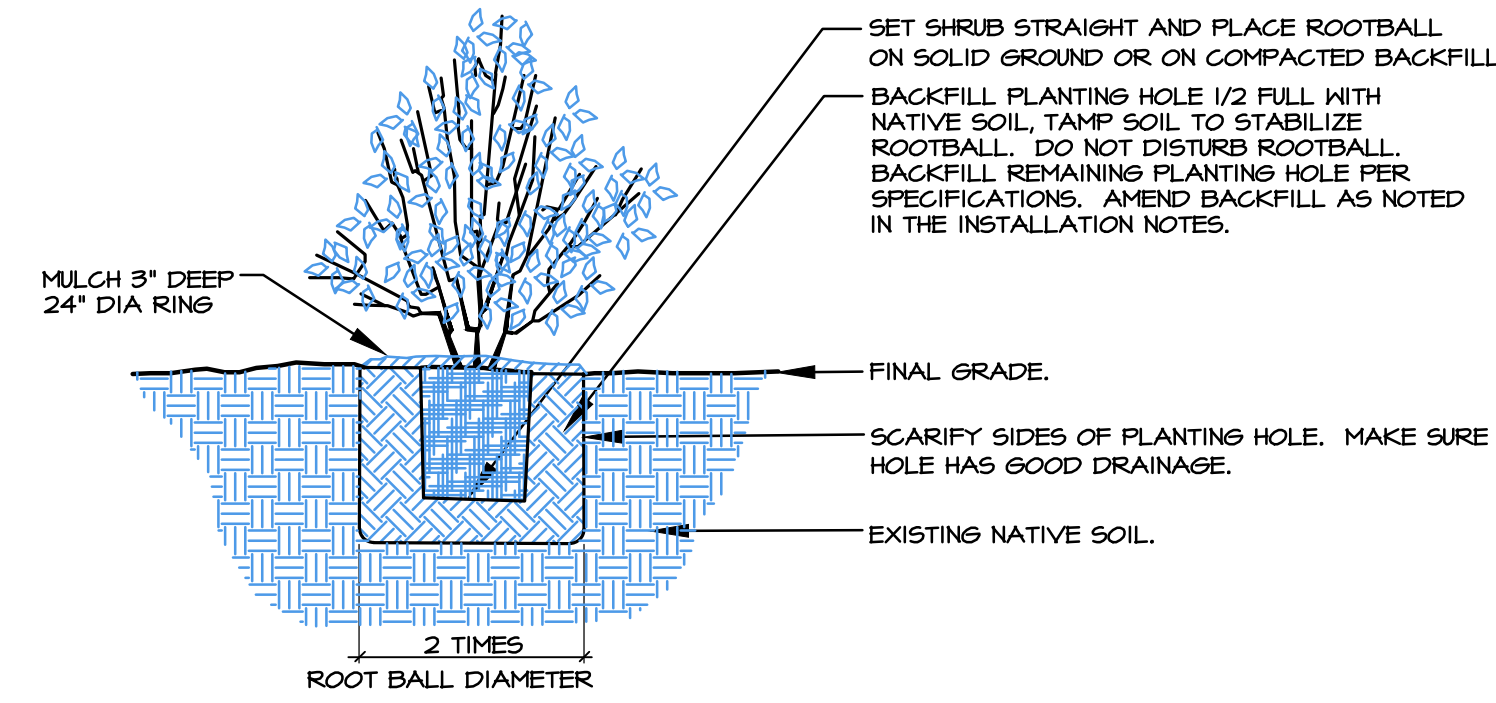
# CONSTRUCTION SPECIFICATIONS

- ALL PLANTS SHOULD BE INSTALLED BETWEEN DECEMBER 1ST AND MARCH 15TH, UNLESS SUPPLEMENTAL IRRIGATION IS PROVIDED.
- INTERMEDIATE INSPECTIONS. ALL PLANTS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE DESIGNER AND/OR WETLAND BIOLOGIST PRIOR TO INSTALLATION. CONDITION OF ROOTS OF A RANDOM SAMPLE OF PLANTS WILL BE INSPECTED, AS WELL AS ALL ABOVEGROUND GROWTH ON ALL PLANTS. ROOTS OF ANY BARE ROOT PLANTS, IF PERMITTED FOR USE, WILL BE INSPECTED. PLANT MATERIAL MAY BE APPROVED AT THE SOURCE, AT THE DISCRETION OF THE LANDSCAPE DESIGNER AND THE WETLAND BIOLOGIST, BUT ALL MATERIAL MUST BE RE-INSPECTED AND APPROVED ON THE SITE PRIOR TO INSTALLATION. PLANT LOCATIONS SHALL ALSO BE INSPECTED AND APPROVED PRIOR TO PLANTING.
- ALL PLANTS SHALL BE PIT-PLANTED IN PLANTING PITS EXCAVATED 2X THE DIAMETER OF THE PLANT. PITS SHALL BE BACKFILLED WITH A 30/70 MIX OF SIERCO TO NATIVE SOIL. PITS SHALL BE AMENDED WITH A HYDRATED SOIL POLYMER (INSTALLED AT RATES PER MANUFACTURER'S SPECIFICATIONS). PLANTS SHALL BE INSTALLED 3" HIGH AND SURFACED MULCHED TO A DEPTH OF 3" WITH PACIFIC GARDEN MULCH PLACED CONTINUOUSLY THROUGHOUT THE PLANTING BED.
- ALL PLANTS SHALL BE NURSERY GROWN (IN WESTERN WA OR OR) FOR AT LEAST 1 YEAR FROM PURCHASE DATE, FREE FROM DISEASE OR PESTS, WELL-ROOTED, BUT NOT ROOT-BOUND AND TRUE TO SPECIES.
- PLANT LAYOUT SHALL BE APPROVED BY AOA PRIOR TO INSTALLATION AND APPROVED UPON COMPLETION OF PLANTING.
- UPON COMPLETION OF PLANTING, ALL PLANTS SHALL BE THOROUGHLY WATERED.
- UPON APPROVAL OF PLANTING INSTALLATION BY AOA, THE CITY OF MERCER ISLAND WILL BE NOTIFIED TO CONDUCT A SITE REVIEW FOR FINAL APPROVAL OF CONSTRUCTION.
- MAINTENANCE SHALL BE IMPLEMENTED ON A REGULAR BASIS ACCORDING TO THE SCHEDULE BELOW.

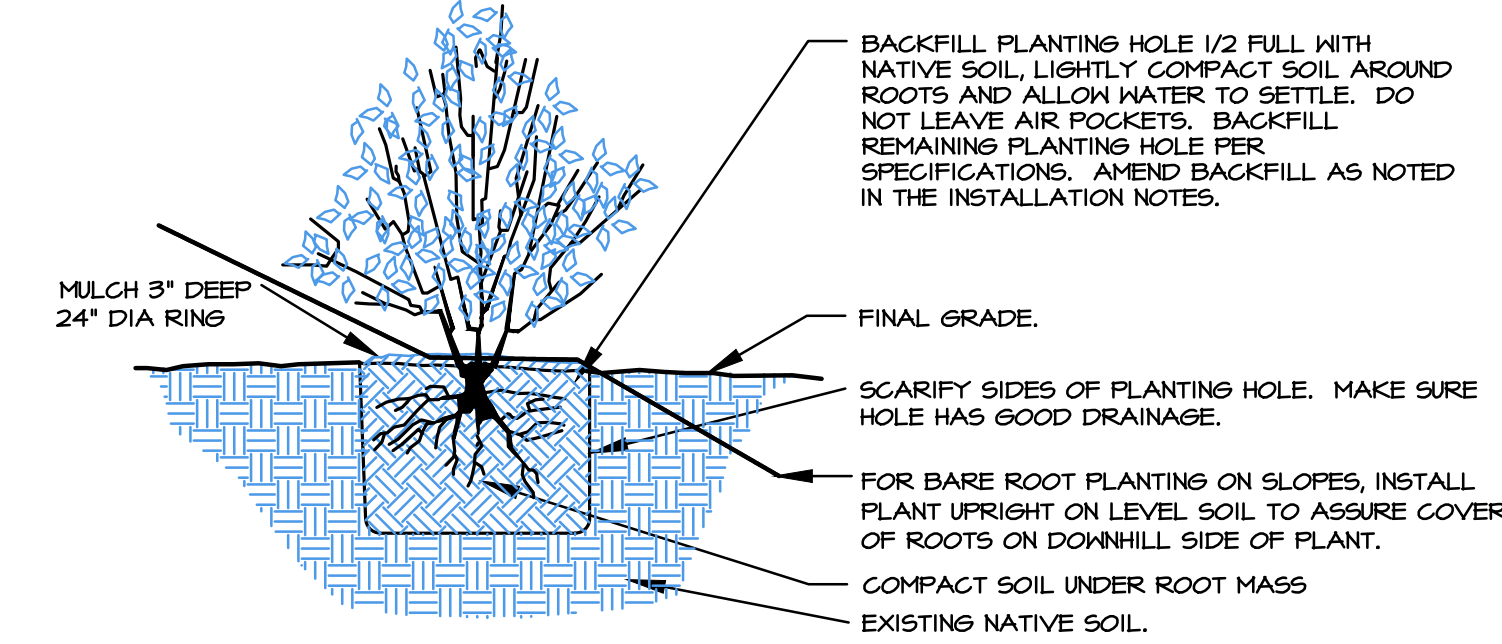
## ANNUAL MAINTENANCE SCHEDULE

MAINTENANCE ITEM	J	F	M	A	M	J	J	A	S	O	N	D
WATERING - YEARS 1 & 2							Ø	Ø	Ø	Ø		
WEED CONTROL			I		I		I			I		
GENERAL MAINT.			I		I		I			I		

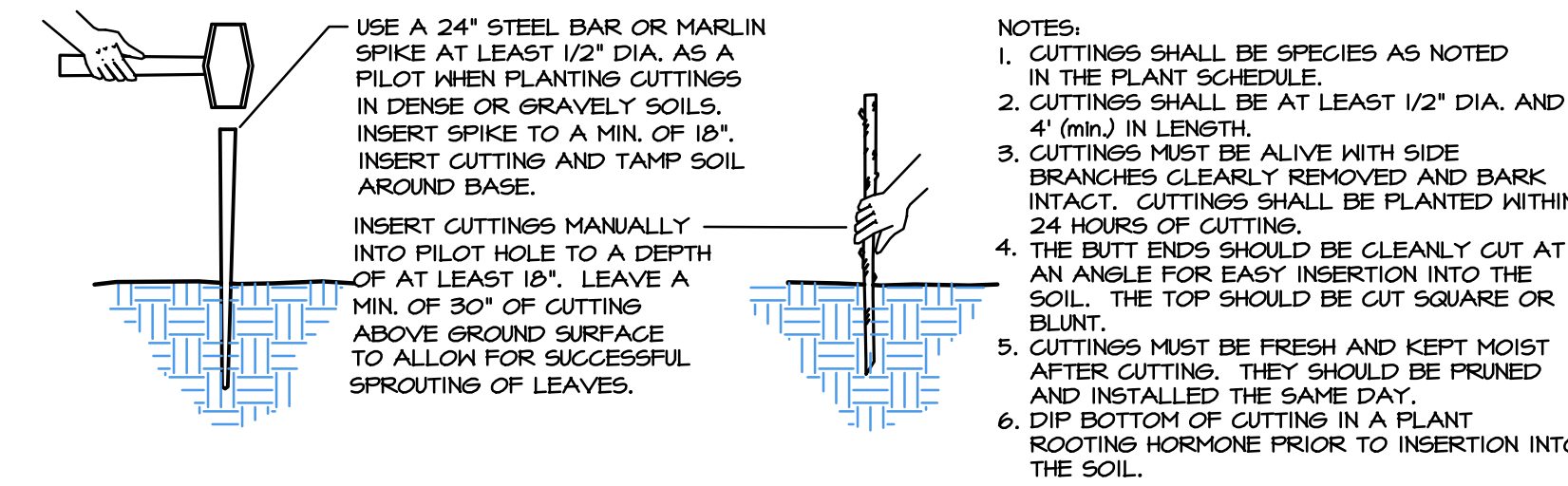
I-Ø = NUMBER OF TIMES TASK SHALL BE PERFORMED PER MONTH.



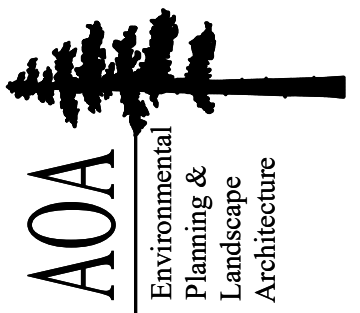
1 CONTAINER PLANTING DETAIL (TYP.)  
SCALE: NTS



2 BARE-ROOT PLANTING DETAIL (TYP.)  
SCALE: NTS



3 CUTTING INSTALLATION (TYP.)  
SCALE: NTS



Altmann Oliver Associates, LLC

Environmental Planning & Landscape Architecture

Office (425) 331-4338 Fax (425) 331-4309  
PO Box 578 Carnation, WA 98014

SPECIFICATIONS & DETAILS  
PAEK RESIDENCE  
2215 80TH AVE SE  
MERCER ISLAND, WA 98040

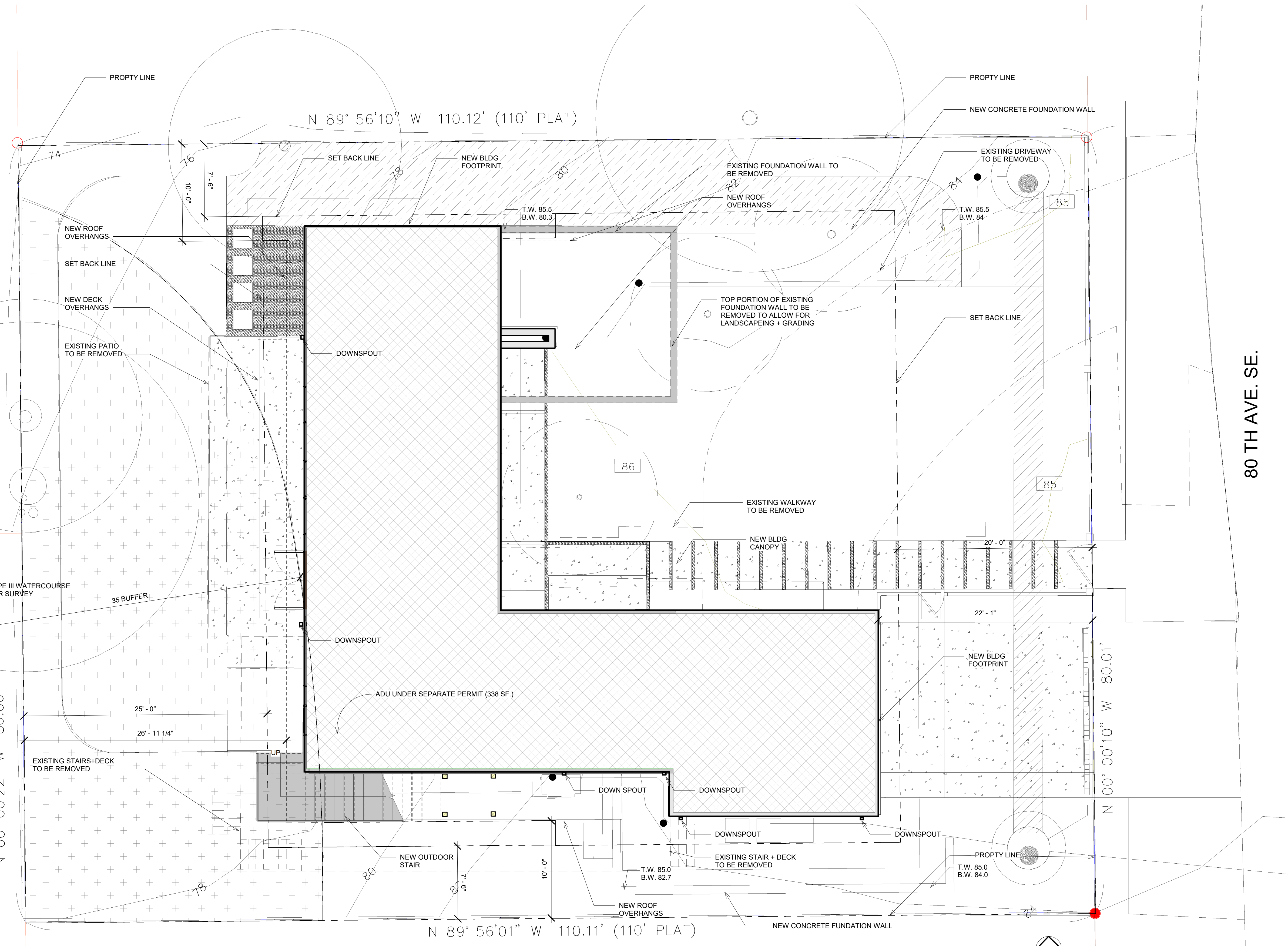
Revisions	Date	By

Date 04-30-19  
Scale AS NOTED  
Project# 5200

Sheet # N-3

24" x 36" Arch D - SHEET SIZE

FILE NAME: C:\Users\mwei\Documents\Paek Residence\_new\_wsi\mza-us.com.rvt  
PLOT DATE: 4/30/2019 1:58:52 PM



1 Site 02  
3/16" = 1'-0"

80 TH AVE. SE.

**PROJECT NAME**  
PAEK RESIDENCE

**PROJECT ADDRESS**  
2215 80TH AVE SE  
MERCER ISLAND, WA 98040

**CLIENT**  
TIMOTHY PAEK

16930 SE 32ND PLACE  
BELLEVUE, WA 98008  
T: 206.228.9404

NO.	DESCRIPTION	DATE
REVISIONS		

**CONSULTANTS**

**CIVIL ENGINEER**  
GREEN LAKE ENGINEERING  
6045 4TH AVE NE  
SEATTLE, WA 98115  
T: 206.525.5332

**LANDSCAPE ARCHITECT**  
ALTMANN OLIVER ASSOC., LLC  
PO BOX 578  
CARNATION, WA 98014  
T: 425.333.4535

**STRUCTURAL ENGINEER**  
LUND OPSAHL  
1201 FIRST AVE. S, STE 310  
SEATTLE, WA 98134  
T: 206.402.5156

**DRAWING STATUS**

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**MZA**  
ARCHITECTURE

600 108th Ave. NE, Suite 108  
Bellevue, WA 98004  
T: 425.556.7886, www.mza-us.com

**STAMP** NORTH ARROW

REGISTERED ARCHITECT

Ming Zhang

STATE OF WASHINGTON


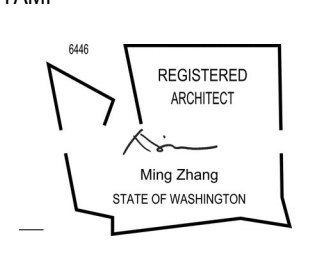
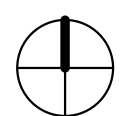
**DRAWING TITLE**  
SITE PLAN

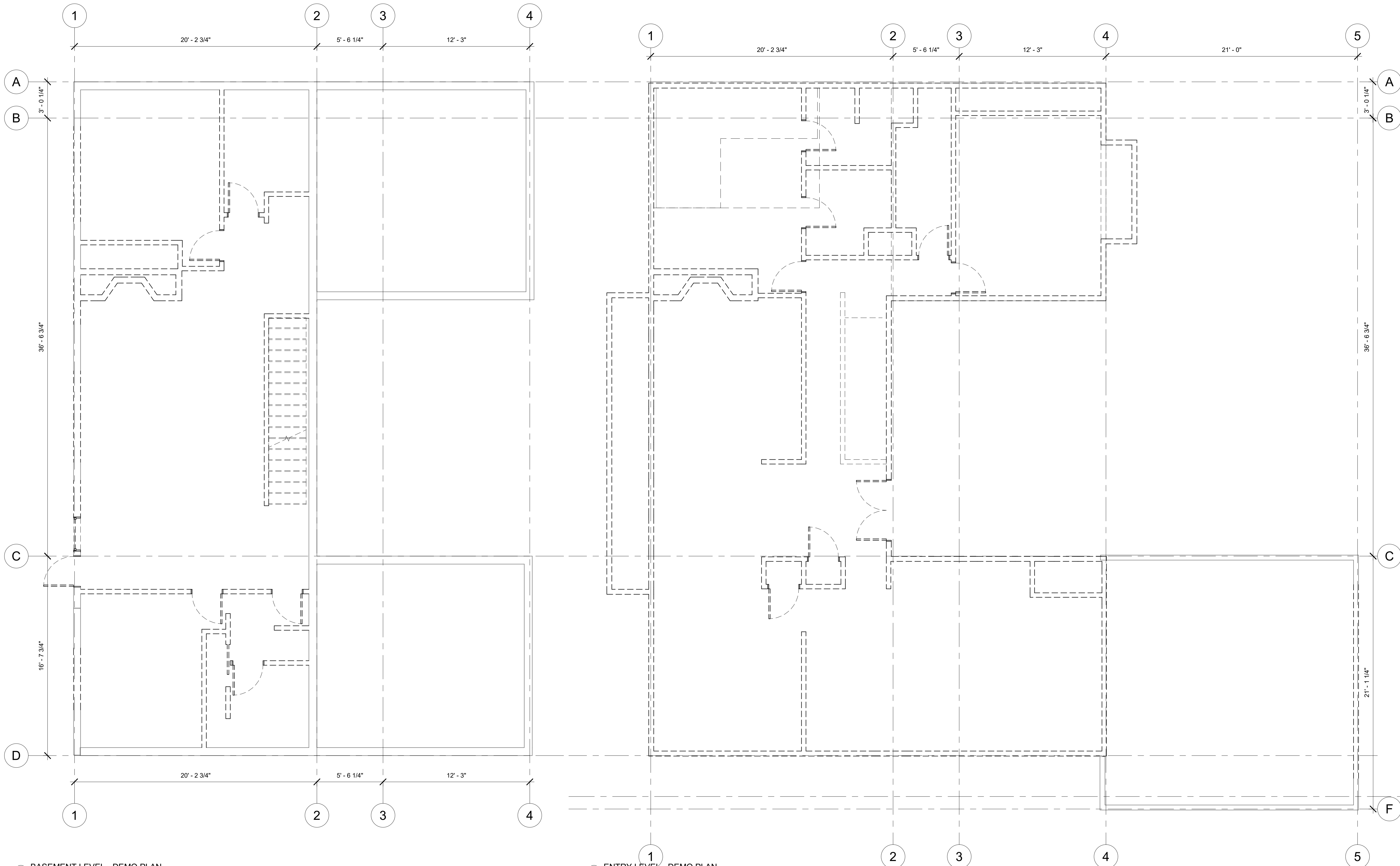
<b>DRAWN</b> Author	<b>CHECKED</b> Checker
<b>SCALE @ ARCH D</b> 3/16" = 1'-0"	<b>DATE</b> 01/11/19

**GRAPHIC SCALE**  
0 4 8 16 24  
SCALE IN FEET

**PROJECT NO.**  
18-009

<b>DRAWING NO.</b> <b>A1.1</b>	<b>REVISION NO.</b>
-----------------------------------	---------------------

PROJECT PAEK RESIDENCE	
ADDRESS 2215 80TH AVE SE MERCER ISLAND, WA 98040	
CLIENT TIMOTHY PAEK	
NO. ISSUED DATE	
REVISIONS	
DRAWING STATUS	
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 <b>M Z A</b> ARCHITECTURE 600 108th Ave NE Suite 1108 Bellevue WA 98004 425.559.7888 contact@mzaous.com	
	
DRAWING TITLE <b>FLOOR PLANS</b>	
DRAWN Author	DESIGNED Designer
DATE 07/06/17	
GRAPHIC SCALE 1/4" = 1'-0"	
PROJECT NO. 18-009	
DRAWING NO. <b>A2.0</b>	REVISION NO.

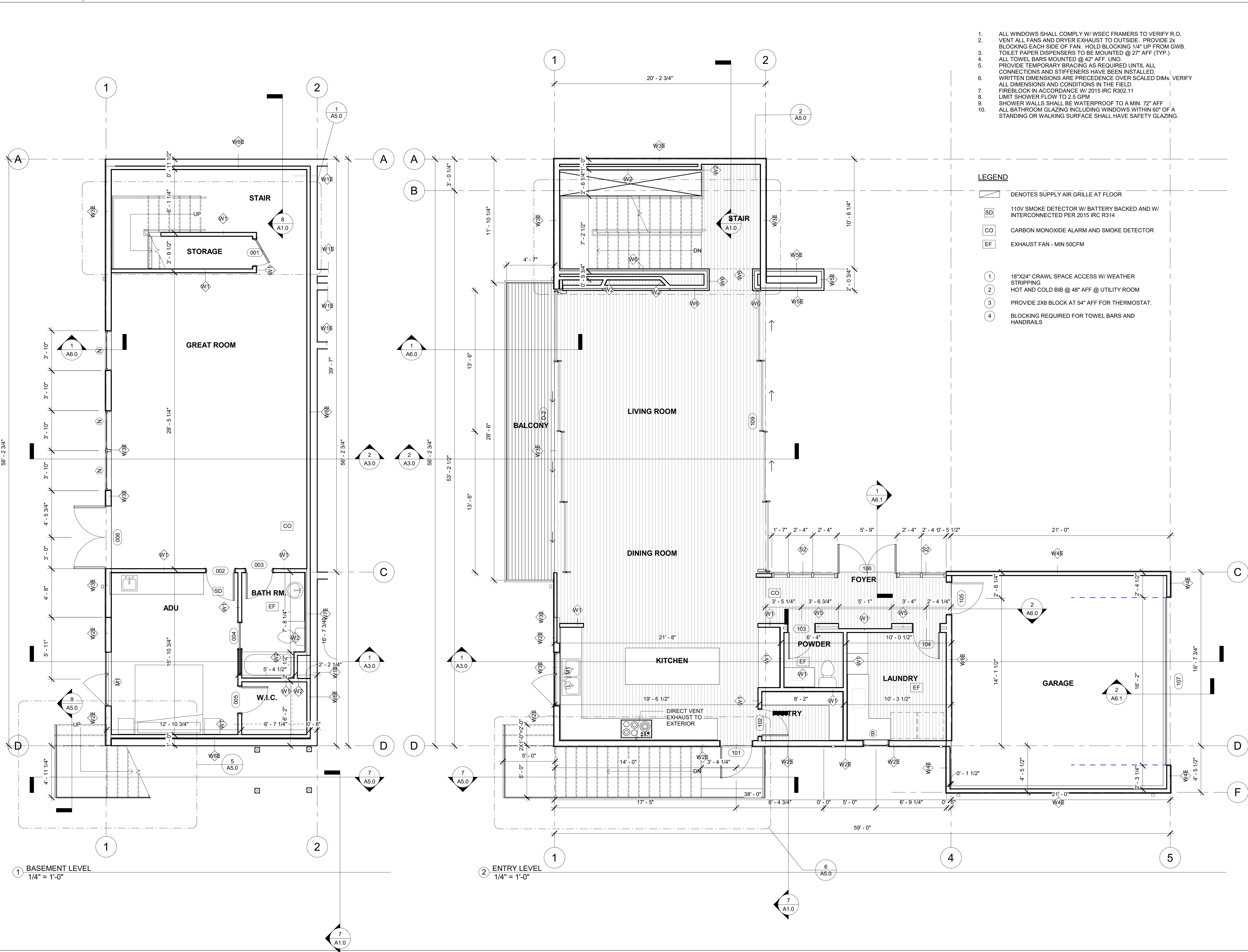


① BASEMENT LEVEL - DEMO PLAN  
1/4" = 1'-0"

② ENTRY LEVEL - DEMO PLAN  
1/4" = 1'-0"

24"x36" Arch D - SHEET SIZE


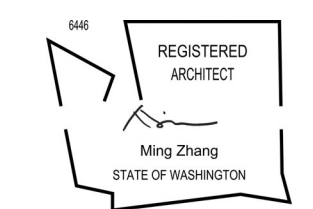
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PLOT TIME:  
DATE:

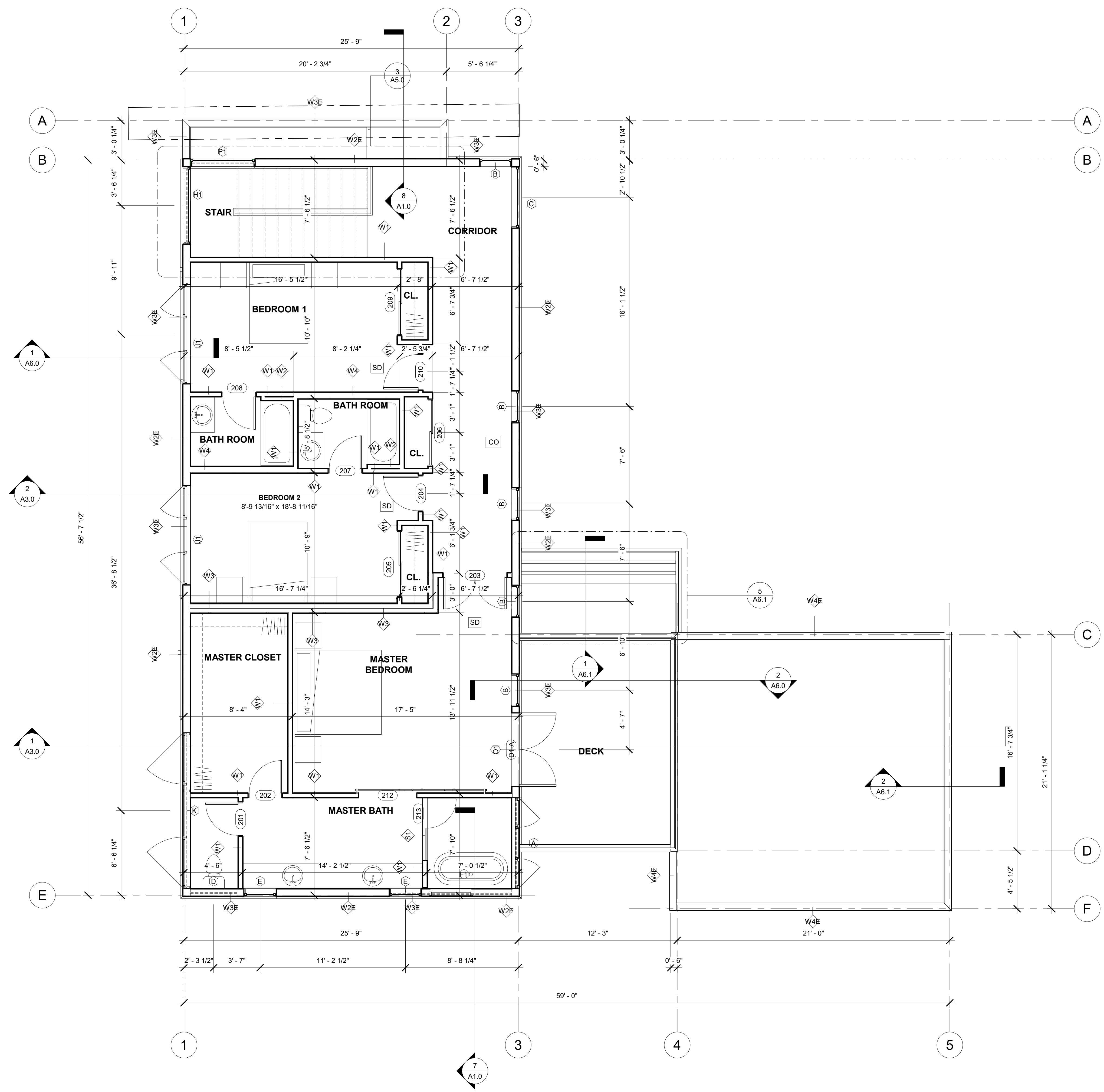


1. ALL WINDOWS SHALL COMPLY W/ WSEC FRAMERS TO VERIFY R.O.
2. VENT ALL FANS AND DRYER EXHAUST TO OUTSIDE. PROVIDE 2x BLOCKING EACH SIDE OF FAN. HOLD BLOCKING 1/4" UP FROM GWB.
3. TOILET PAPER DISPENSERS TO BE MOUNTED @ 27" AFF. (TYP.)
4. ALL TOWEL BARS MOUNTED @ 42" AFF. UNO.
5. PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL CONNECTIONS AND STIFFENERS HAVE BEEN INSTALLED.
6. WRITTEN DIMENSIONS ARE PRECEDENCE OVER SCALED DIMS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.
7. FIREBLOCK IN ACCORDANCE W/ 2015 IRC R302.11
8. LIMIT SHOWER FLOW TO 2.5 GPM
9. SHOWER WALLS SHALL BE WATERPROOF TO A MIN. 72" AFF
10. ALL BATHROOM GLAZING INCLUDING WINDOWS WITHIN 60" OF A STANDING OR WALKING SURFACE SHALL HAVE SAFETY GLAZING.

**LEGEND**

- DENOTES SUPPLY AIR GRILLE AT FLOOR
  - 110V SMOKE DETECTOR W/ BATTERY BACKED AND W/ INTERCONNECTED PER 2015 IRC R314
  - CARBON MONOXIDE ALARM AND SMOKE DETECTOR
  - EXHAUST FAN - MIN 50CFM
- 
- 18"x24" CRAWL SPACE ACCESS W/ WEATHER STRIPPING
  - HOT AND COLD BIB @ 48" AFF @ UTILITY ROOM
  - PROVIDE 2X8 BLOCK AT 54" AFF FOR THERMOSTAT.
  - BLOCKING REQUIRED FOR TOWEL BARS AND HANDRAILS

PROJECT <b>PAEK RESIDENCE</b>	
ADDRESS 2215 80TH AVE SE MERCER ISLAND, WA 98040	
CLIENT <b>TIMOTHY PAEK</b>	
NO. ISSUED	DATE
REVISIONS	
DRAWING STATUS	
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STAMP	
	
DRAWING TITLE <b>BASEMENT &amp; GROUND FLOOR PLANS</b>	
DRAWN Author	DESIGNED Designer
DATE 06/05/18	
GRAPHIC SCALE As indicated	
PROJECT NO. 18-009	
DRAWING NO. <b>A2.1</b>	REVISION NO.




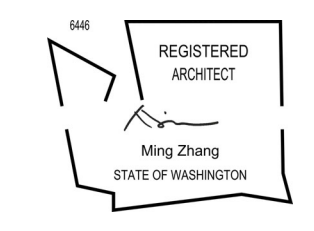
1 UPPER LEVEL  
1/4" = 1'-0"

1. ALL WINDOWS SHALL COMPLY W/ WSEC FRAMERS TO VERIFY R.O.
2. VENT ALL FANS AND DRYER EXHAUST TO OUTSIDE. PROVIDE 2x BLOCKING EACH SIDE OF FAN. HOLD BLOCKING 1/4" UP FROM GWB.
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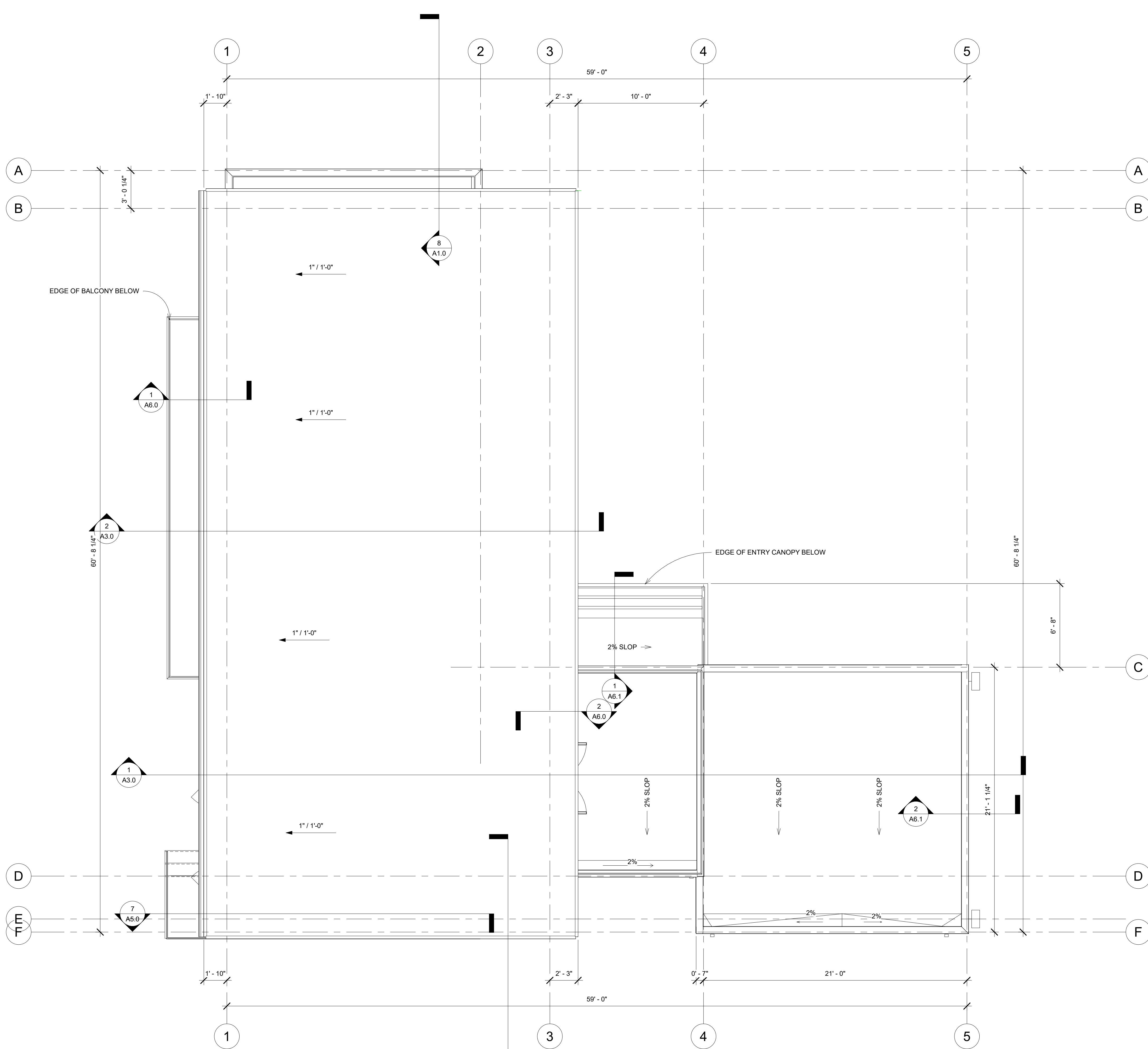
**LEGEND**

- DENOTES SUPPLY AIR GRILLE AT FLOOR
- 110V SMOKE DETECTOR W/ BATTERY BACKED AND W/ INTERCONNECTED PER 2015 IRC R314
- CARBON MONOXIDE ALARM AND SMOKE DETECTOR
- EXHAUST FAN - MIN 50CFM

- 1 18"x24" CRAWL SPACE ACCESS W/ WEATHER STRIPPING
- 2 HOT AND COLD BIB @ 48" AFF @ UTILITY ROOM
- 3 PROVIDE 2X8 BLOCK AT 54" AFF FOR THERMOSTAT.
- 4 BLOCKING REQUIRED FOR TOWEL BARS AND HANDRAILS

PROJECT <b>PAEK RESIDENCE</b>	
ADDRESS 2215 80TH AVE SE MERCER ISLAND, WA 98040	
CLIENT <b>TIMOTHY PAEK</b>	
NO.	ISSUED
REVISIONS	
DRAWING STATUS	
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STAMP	
	
DRAWING TITLE <b>UPPER LEVEL PLAN</b>	
DRAWN Author	DESIGNED Designer
DATE <b>06/05/18</b>	
GRAPHIC SCALE As indicated	
PROJECT NO. <b>18-009</b>	
DRAWING NO. <b>A2.2</b>	REVISION NO.





1. ALL WINDOWS SHALL COMPLY W/ WSEC FRAMERS TO VERIFY R.O.
2. VENT ALL FANS AND DRYER EXHAUST TO OUTSIDE. PROVIDE 2x BLOCKING EACH SIDE OF FAN. HOLD BLOCKING 1/4" UP FROM GWB.
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10. ALL BATHROOM GLAZING INCLUDING WINDOWS WITHIN 60" OF A STANDING OR WALKING SURFACE SHALL HAVE SAFETY GLAZING.

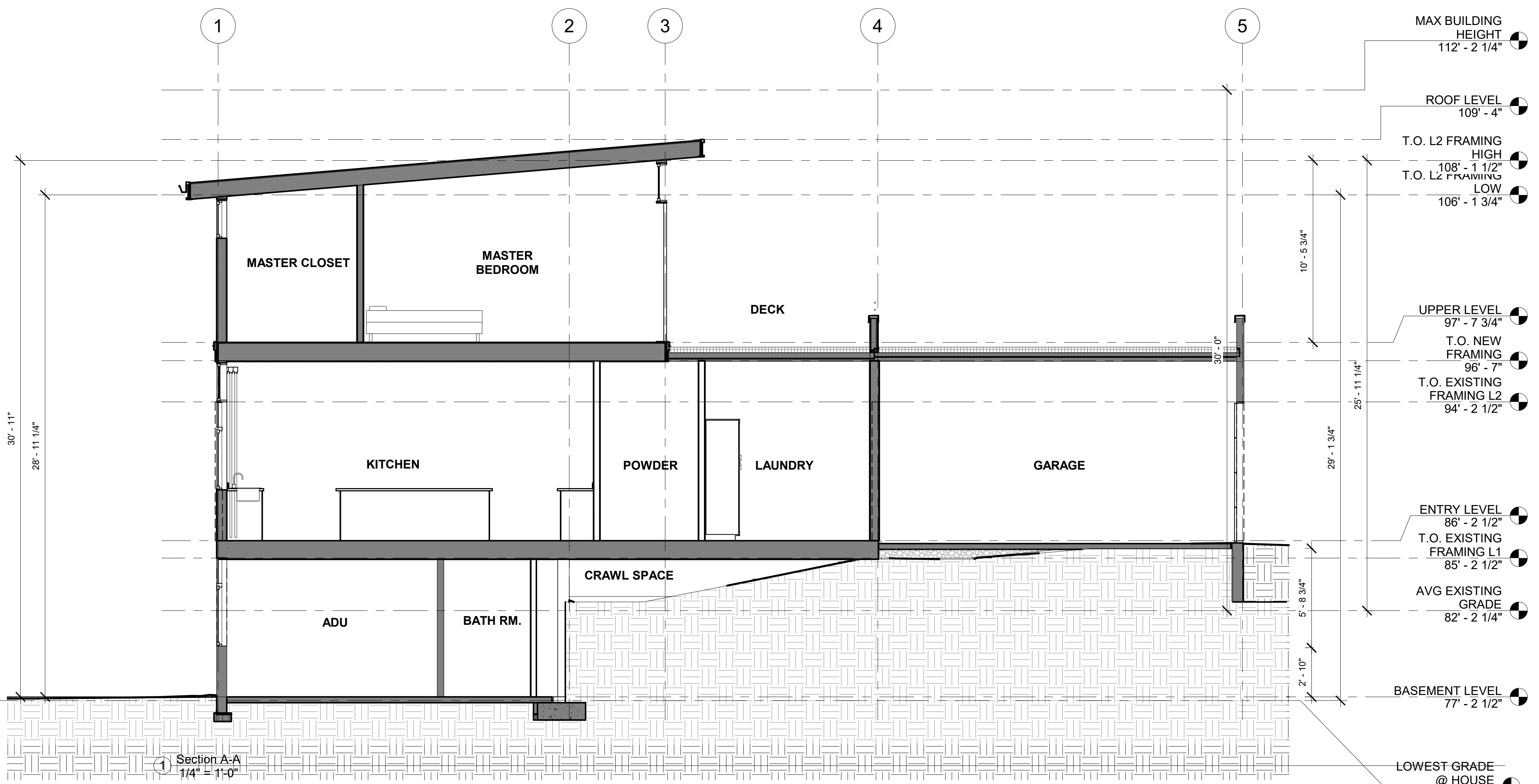
**LEGEND**

- DENOTES SUPPLY AIR GRILLE AT FLOOR
- 110V SMOKE DETECTOR W/ BATTERY BACKED AND W/ INTERCONNECTED PER 2015 IRC R314
- CARBON MONOXIDE ALARM AND SMOKE DETECTOR
- EXHAUST FAN - MIN 50CFM

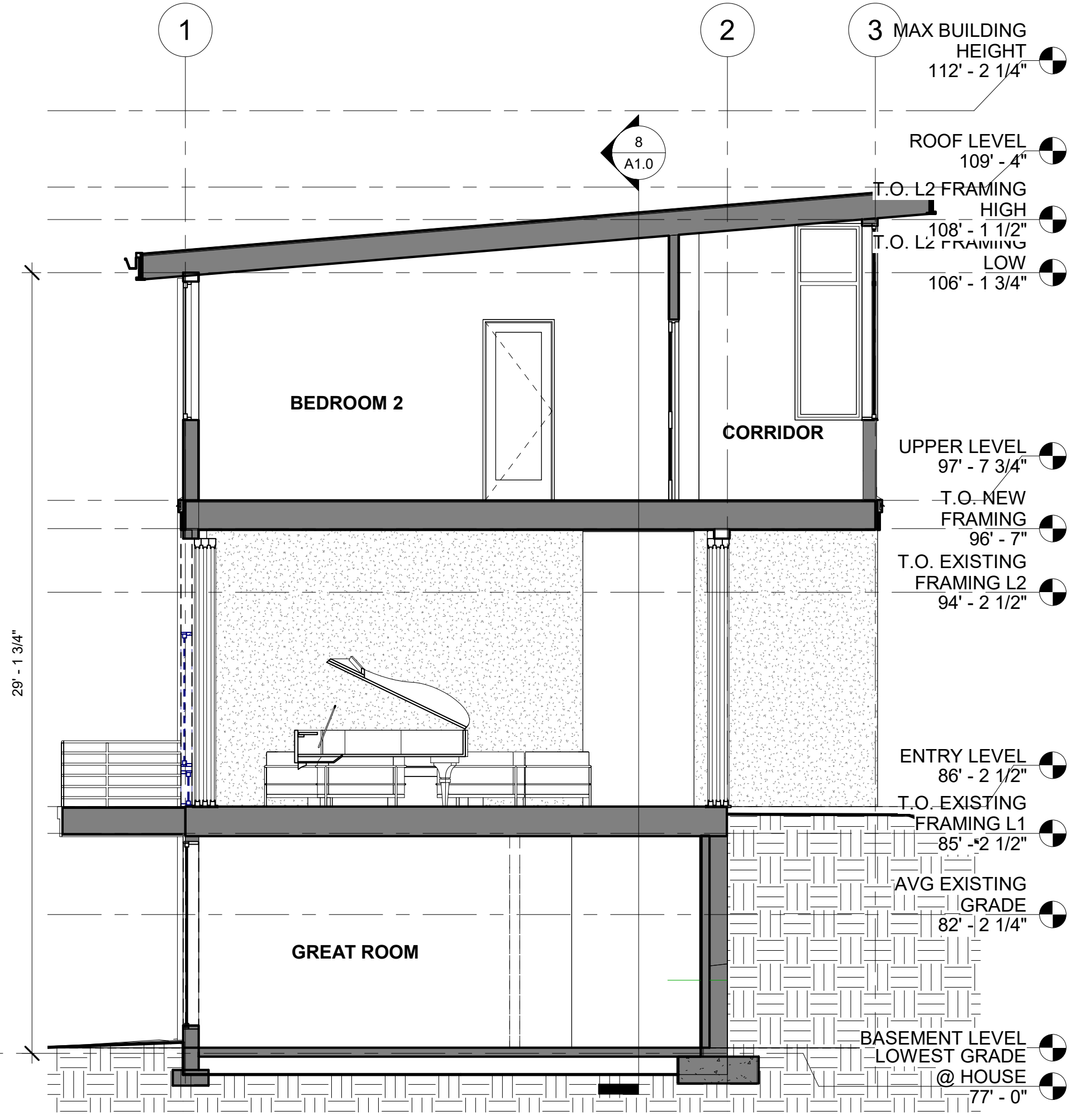
- ① 18"x24" CRAWL SPACE ACCESS W/ WEATHER STRIPPING
- ② HOT AND COLD BIB @ 48" AFF @ UTILITY ROOM
- ③ PROVIDE 2x8 BLOCK AT 54" AFF FOR THERMOSTAT.
- ④ BLOCKING REQUIRED FOR TOWEL BARS AND HANDRAILS

PROJECT <b>PAEK RESIDENCE</b>	
ADDRESS 2215 80TH AVE SE MERCER ISLAND, WA 98040	
CLIENT <b>TIMOTHY PAEK</b>	
NO. ISSUED	
DATE	
REVISIONS	
DRAWING STATUS	
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<p>ARCHITECTURE</p> <p>600 108th Ave NE Suite 1108 Bellevue WA 98004 425.559.7888 contact@mzaos.com</p>	
STAMP	
DRAWING TITLE <b>ROOF PLAN</b>	
DRAWN Author	DESIGNED Designer
DATE 08/16/18	
GRAPHIC SCALE As indicated	
PROJECT NO. 18-009	
DRAWING NO. <b>A2.3</b>	REVISION NO.


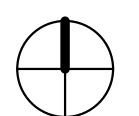
24"x36" Arch D - SHEET SIZE



1 Section A-A  
1/4" = 1'-0"



2 Section B-B  
1/4" = 1'-0"

PROJECT PAEK RESIDENCE	
ADDRESS 2215 80TH AVE SE MERCER ISLAND, WA 98040	
CLIENT TIMOTHY PAEK	
NO.	ISSUED
REVISIONS	DATE
DRAWING STATUS	
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 ARCHITECTURE 600 108th Ave NE Suite 108 Bellevue WA 98004 425.559.7888 contact@mza.us	
STAMP	
DRAWING TITLE SECTION	
DRAWN Author	DESIGNED Designer
DATE 07/06/17	
GRAPHIC SCALE 1/4" = 1'-0"	
PROJECT NO. 18-009	
DRAWING NO. A3.0	REVISION NO.

FILE NAME  
PLOT TIME  
DATE

24"x36" Arch D - SHEET SIZE



1 EAST ELEVATION  
1/4" = 1'-0"





2 WEST ELEVATION  
1/4" = 1'-0"

- MAX BUILDING HEIGHT  
112' - 2 1/4"
- T.O. L2 FRAMING HIGH  
108' - 1 1/2"
- T.O. L2 FRAMING LOW  
106' - 1 3/4"
- UPPER LEVEL  
97' - 7 3/4"
- T.O. NEW FRAMING  
96' - 7"
- T.O. EXISTING FRAMING L2  
94' - 2 1/2"
- FINISHED GRADE
- ENTRY LEVEL  
86' - 2 1/2"
- T.O. EXISTING FRAMING L1  
85' - 2 1/2"
- AVG EXISTING GRADE  
82' - 2 1/4"
- BASEMENT LEVEL  
77' - 2 1/2"

**KEYNOTES**

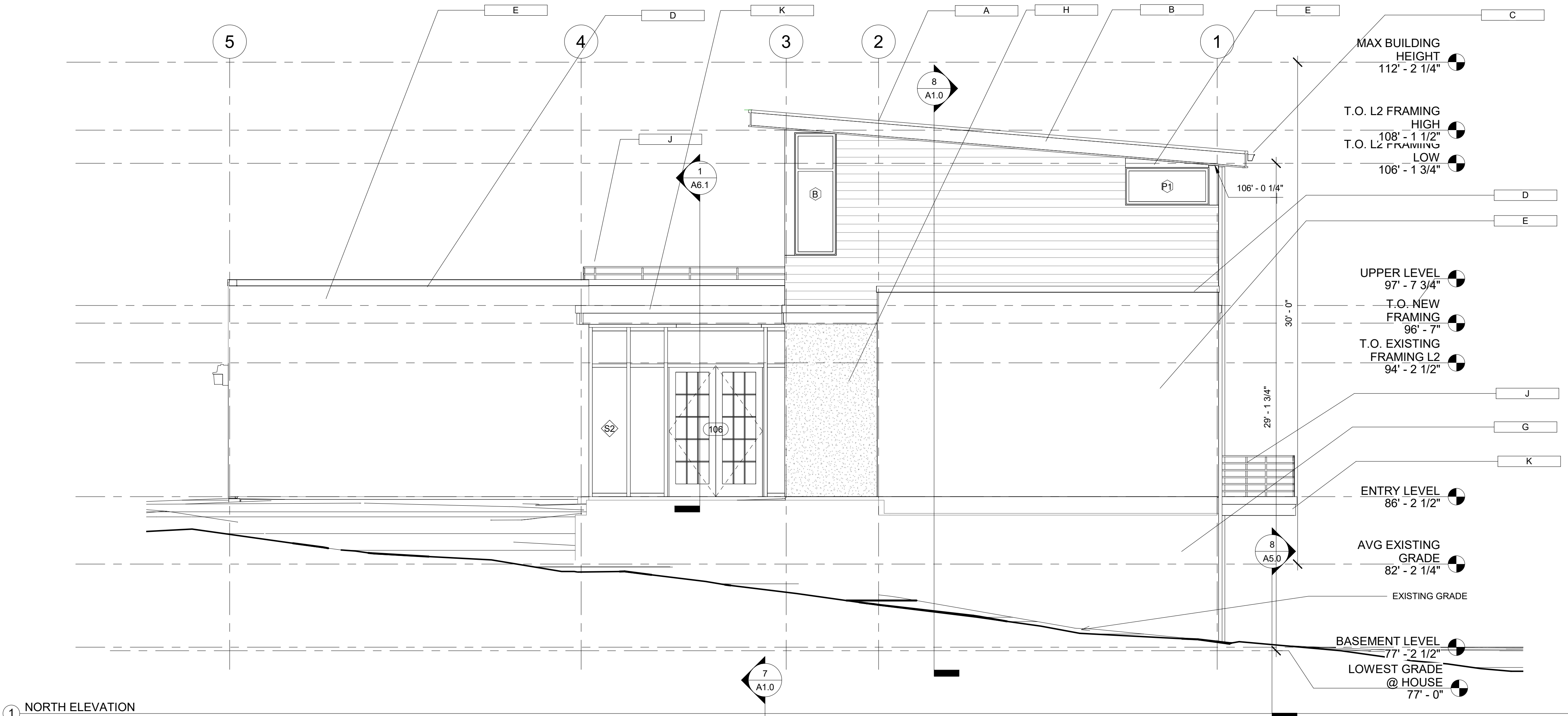
- (A) ASPHALT SHINGLE ROOFING  
25 YEAR ARCHITECTURAL COMPOSITION ROOFING: *CertainTeed, Presidential Solars 'Weathered Wood'*
- (B) WHITEWOOD FASCIA  
PRE-PRIMED WHITEWOOD 5/4x8 NOMINAL, COLOR: *Benjamin Moore, BM1596 'Nightfall'*
- (C) ALUMINUM GUTTER/DOWNSPOUT  
PRE-FINISHED ALUMINUM GUTTER  
COLOR: TO MATCH FASCIA
- (D) METAL COPING OVER WOOD TRIM  
MANUFACTURED METAL COPING 0/ 5/4" x 10" NOMINAL WOOD TRIM WITH PAINTED FINISH  
COLOR: *Benjamin Moore, BM1497 'Nightfall'*
- (E) FIBER CEMENT PANEL & BATTEN SIDING  
4/4" x 2" HARDI TRIM BATTENS AT 1'-0" O.C. OVER 5/16" SMOOTH FIBER CEMENT PANELS, PAINTED FINISH  
COLOR: *Benjamin Moore, BM1497 'Rolling Hills'*
- (F) FIBER CEMENT LAP SIDING (ACCENT COLOR)  
6.00" SELECT CEDARMILL EXPOSURE, ACCENT PAINTED FINISH  
COLOR: *Benjamin Moore, BM1498 'Forest Floor'*
- (G) CONCRETE WALL  
CAST-IN-PLACE CONCRETE  
COLOR TO MATCH: *Benjamin Moore, BM296 'Almond Bisque'*
- (H) ADHERED MANUFACTURED STONE VENEER  
DRY-STACK STONE VENEER WITH MATCHING WAINSCOT SILL CAP  
*Eldorado Stone, 'Alderwood'*
- (J) METAL RAILING  
PREMADE, METAL RAILING
- (K) HARDI TRIM, 6"  
5/4" x 6", PAINTED FINISH  
THROUGH-WALL FLASHING AT TOP EDGE AT ALL HORIZONTAL CONDITIONS  
COLOR: *Benjamin Moore, BM1503 'Texas Sage'*
- (L) TIMBER / WOOD ACCENTS  
PAINTED WOOD ACCENTS, ASSEMBLY PER RELATED ARCHITECTURAL DETAILS  
COLOR: *Benjamin Moore, BM1085 'Vero Beach Tan'*

PROJECT <b>PAEK RESIDENCE</b>	
ADDRESS 2215 80TH AVE SE MERCER ISLAND, WA 98040	
CLIENT <b>TIMOTHY PAEK</b>	
NO.	ISSUED
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STAMP	
	
DRAWING TITLE <b>EAST &amp; WEST ELEVATIONS</b>	
DRAWN Author	DESIGNED Designer
DATE 08/02/18	
GRAPHIC SCALE As indicated	
PROJECT NO. 18-009	
DRAWING NO. <b>A4.0</b>	REVISION NO.

1. PROVIDE GALVANIZED SHEET METAL FLASHING AND COUNTER FLASHING AT ALL ROOF PENETRATIONS
2. PROVIDE WEATHER STRIPPING AT ALL DOORS. CAULK ALL JOINTS AND PENETRATIONS IN EXTERIOR WALLS.
3. PROVIDE BUILDING IDENTIFICATION ADDRESS NUMBERS THAT ARE PLAINLY VISIBLE FROM THE STREET OR ROAD COMPLIANT WITH 2015 IRC SECTION R319.1

FILE NAME  
PLOT DATE

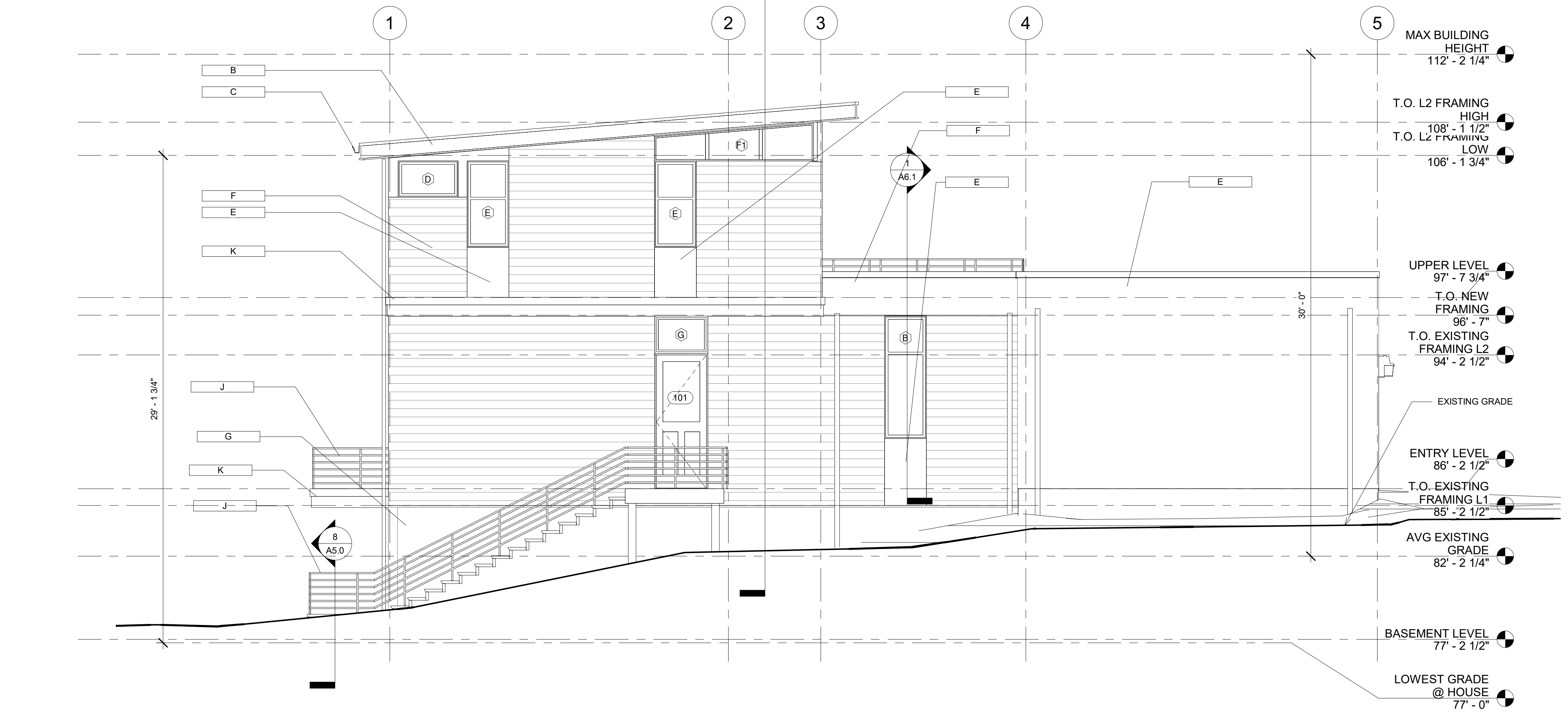
24"x36" ARCH D - SHEET SIZE



1 NORTH ELEVATION  
1/4" = 1'-0"



**KEYNOTES**

- A ASPHALT SHINGLE ROOFING  
25 YEAR ARCHITECTURAL COMPOSITION  
ROOFING: *Certainteed, Presidential Solaris*  
*'Weathered Wood'*
- B WHITEWOOD FASCIA  
PRE-PRIMED WHITEWOOD 5/4x8 NOMINAL  
COLOR: *Benjamin Moore, BM1596 'Nightfall'*
- C ALUMINUM GUTTER/DOWNSPOUT  
PRE-FINISHED ALUMINUM GUTTER  
COLOR: TO MATCH FASCIA
- D METAL COPING OVER WOOD TRIM  
MANUFACTURED METAL COPING 0/ 5/4" x 10"  
NOMINAL WOOD TRIM WITH PAINTED FINISH  
COLOR: *Benjamin Moore, BM1596 'Nightfall'*
- E FIBER CEMENT PANEL & BATTEN SIDING  
4/4" x 2" HARDI TRIM BATTENS AT 1'-0" O.C.  
OVER: 5/16" SMOOTH FIBER CEMENT  
PANELS, PAINTED FINISH  
COLOR: *Benjamin Moore, BM1497 'Rolling Hills'*
- F FIBER CEMENT LAP SIDING (ACCENT  
COLOR)  
6/00" SELECT CEDARMILL EXPOSURE,  
ACCENT PAINTED FINISH  
COLOR: *Benjamin Moore, BM1498 'Forest Floor'*
- G CONCRETE WALL  
CAST-IN-PLACE CONCRETE  
COLOR TO MATCH: *Benjamin Moore,*  
*BM296 'Almond Bisque'*
- H ADHERED MANUFACTURED STONE VENEER  
DRystack STONE VENEER WITH MATCHING  
WAINSCOT SILL CAP  
*Eldorado Stone, 'Alderwood'*
- J METAL RAILING  
PREMADE, METAL RAILING
- K HARDI TRIM, 6"  
5/4" x 6", PAINTED FINISH  
THROUGH-WALL FLASHING AT TOP  
EDGE AT ALL HORIZONTAL CONDITIONS  
COLOR: *Benjamin Moore, BM1503 'Texas Sage'*
- L TIMBER / WOOD ACCENTS  
PAINTED WOOD ACCENTS, ASSEMBLY PER  
RELATED ARCHITECTURAL DETAILS  
COLOR: *Benjamin Moore, BM1085 'Vero Beach  
Tan'*



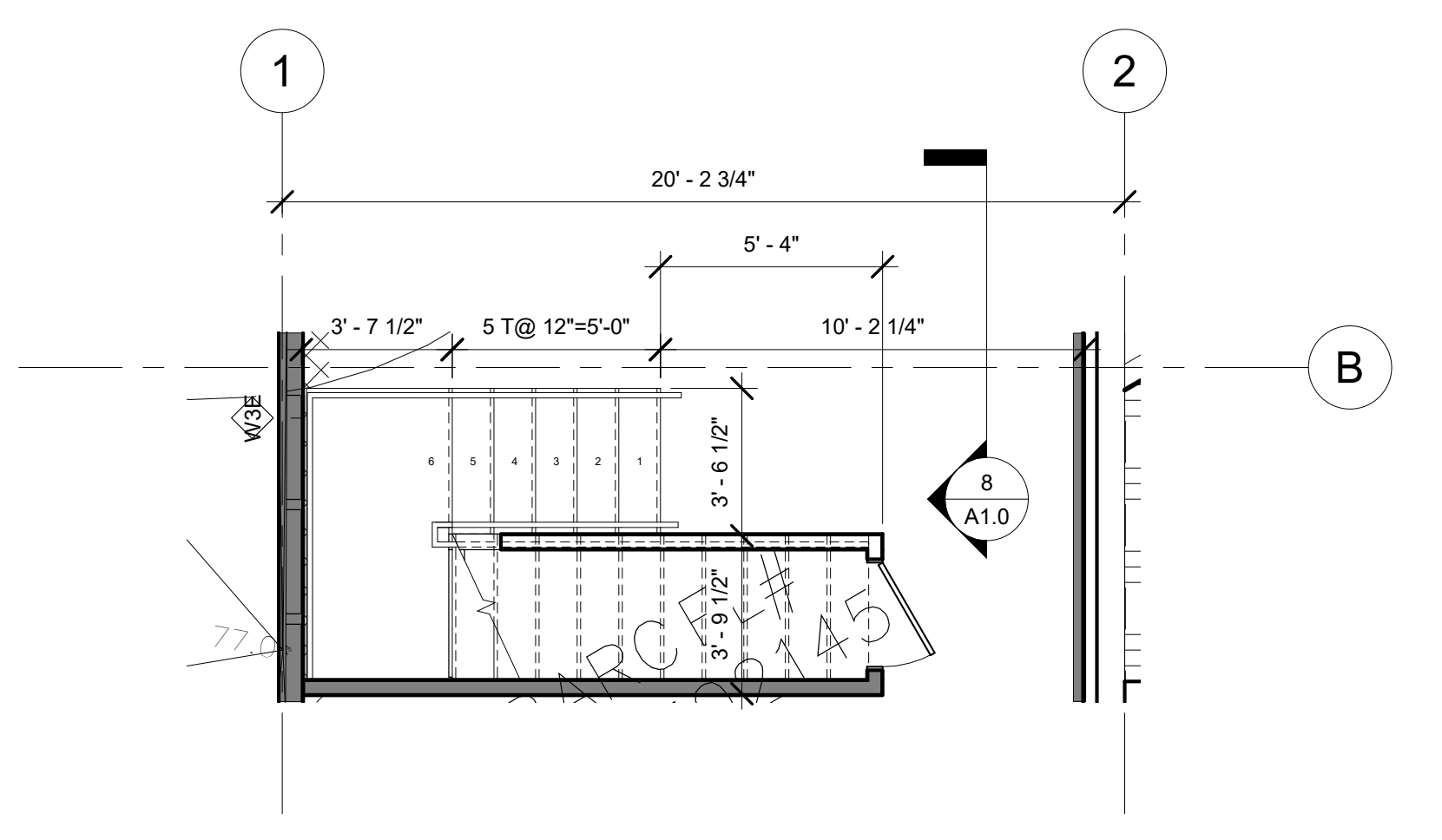
2 SOUTH ELEVATION  
1/4" = 1'-0"

1. PROVIDE GALVANIZED SHEET METAL FLASHING AND COUNTER FLASHING AT ALL ROOF PENETRATIONS
2. PROVIDE WEATHER STRIPPING AT ALL DOORS. CAULK ALL JOINTS AND PENETRATIONS IN EXTERIOR WALLS.
3. PROVIDE BUILDING IDENTIFICATION ADDRESS NUMBERS THAT ARE PLAINLY VISIBLE FROM THE STREET OR ROAD COMPLIANT WITH 2015 IRC SECTION R319.1

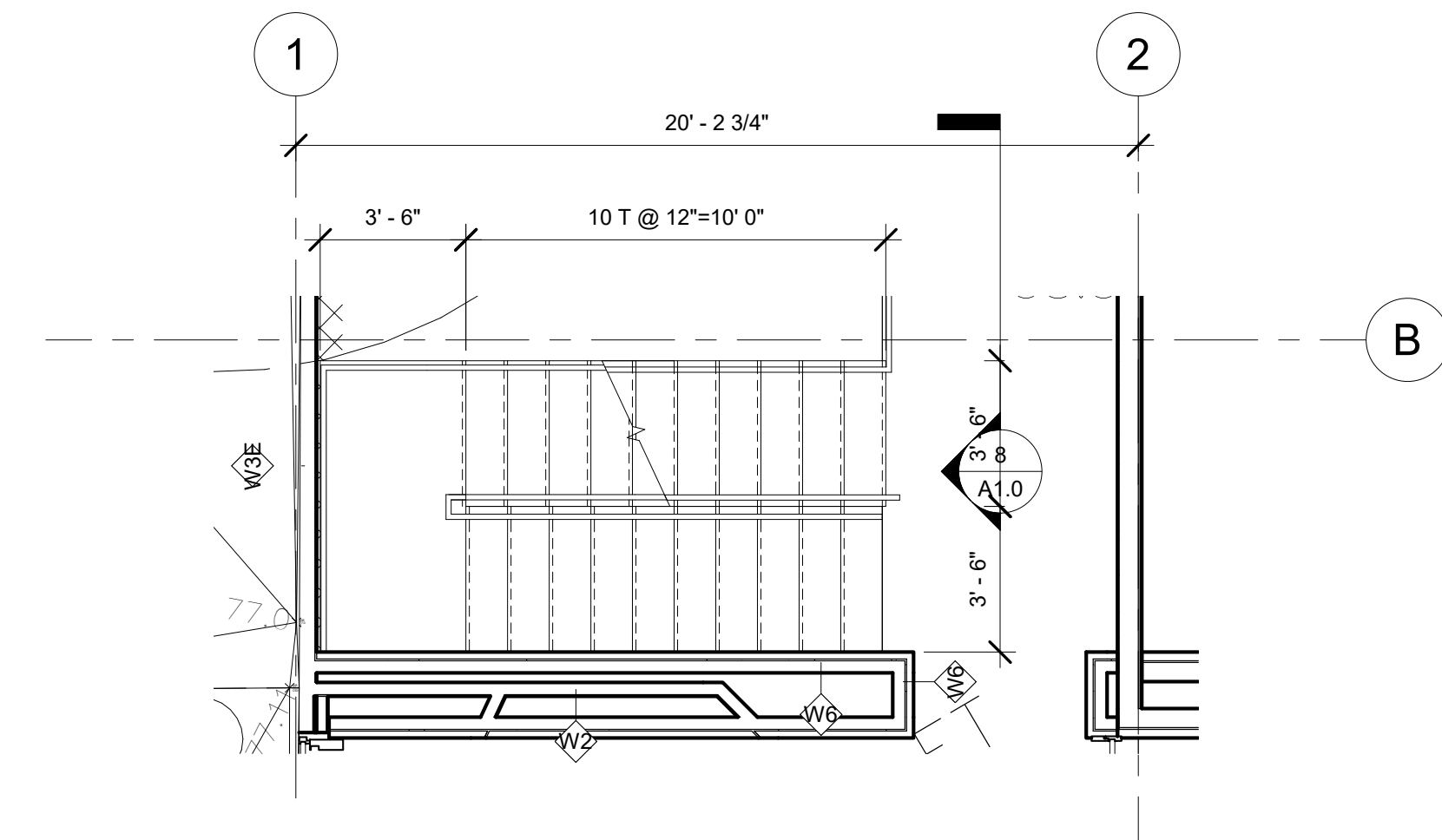
PROJECT <b>PAEK RESIDENCE</b>	
ADDRESS 2215 80TH AVE SE MERCER ISLAND, WA 98040	
CLIENT <b>TIMOTHY PAEK</b>	
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DRAWING TITLE <b>NORTH &amp; SOUTH ELEVATIONS</b>	
DRAWN Author	DESIGNED Designer
DATE 08/02/18	
GRAPHIC C SCALE As indicated	
PROJECT NO. 18-009	
DRAWING NO. <b>A4.1</b>	REVISION NO.

FILE NAME  
PLOT TIME  
DATE

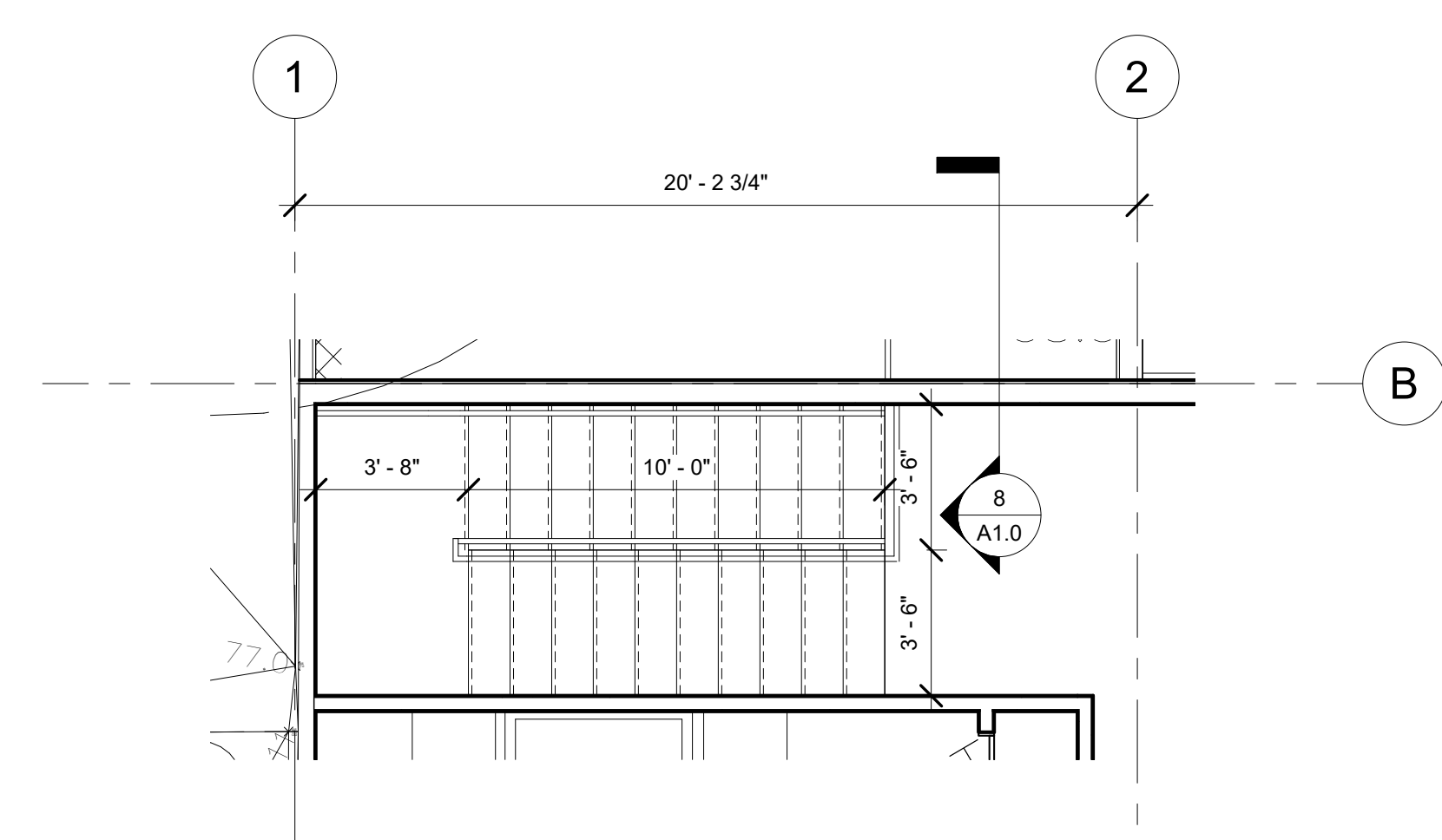
24"x36" Arch D - SHEET SIZE



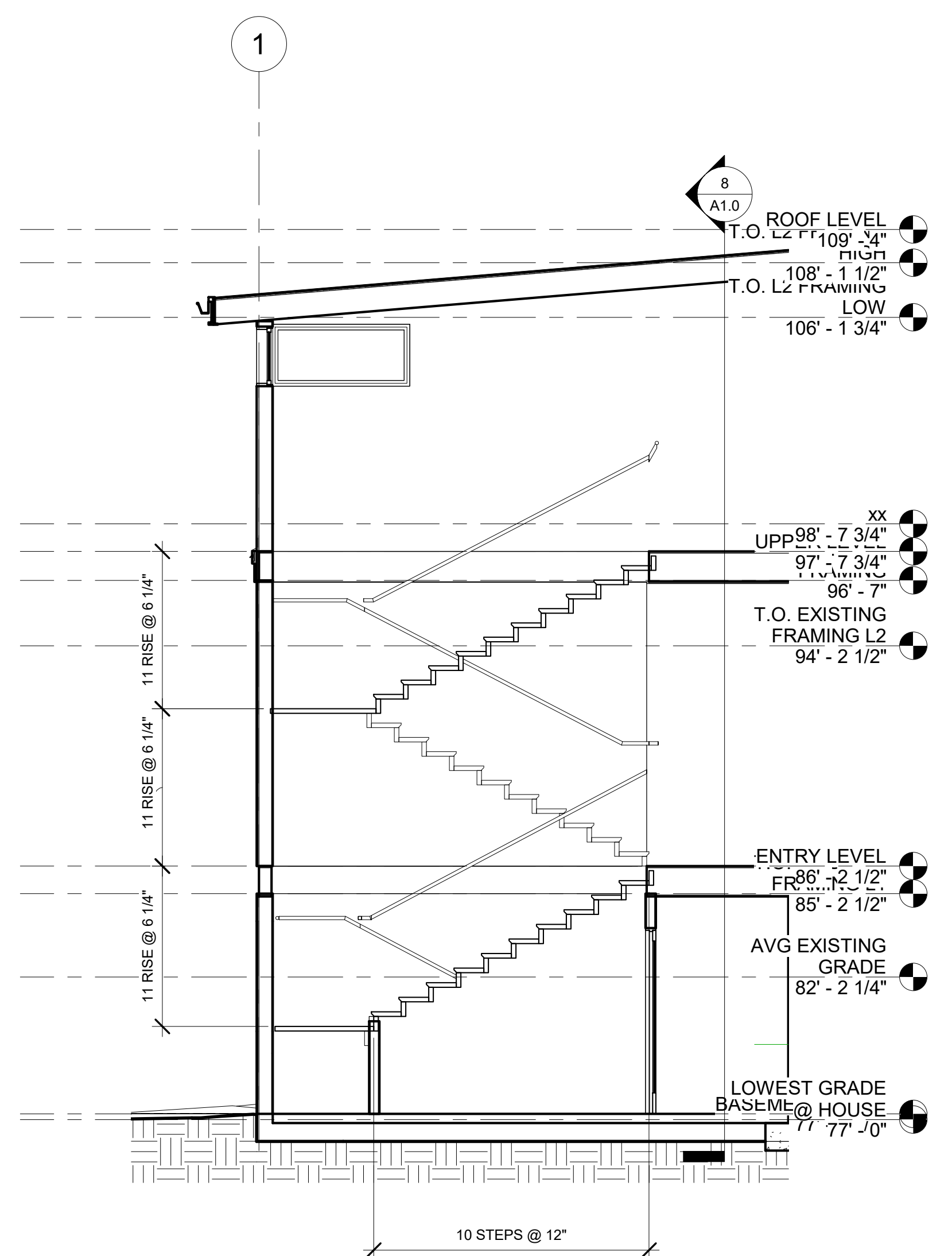
1 BASEMENT LEVEL - STAIR 1  
1/4" = 1'-0"



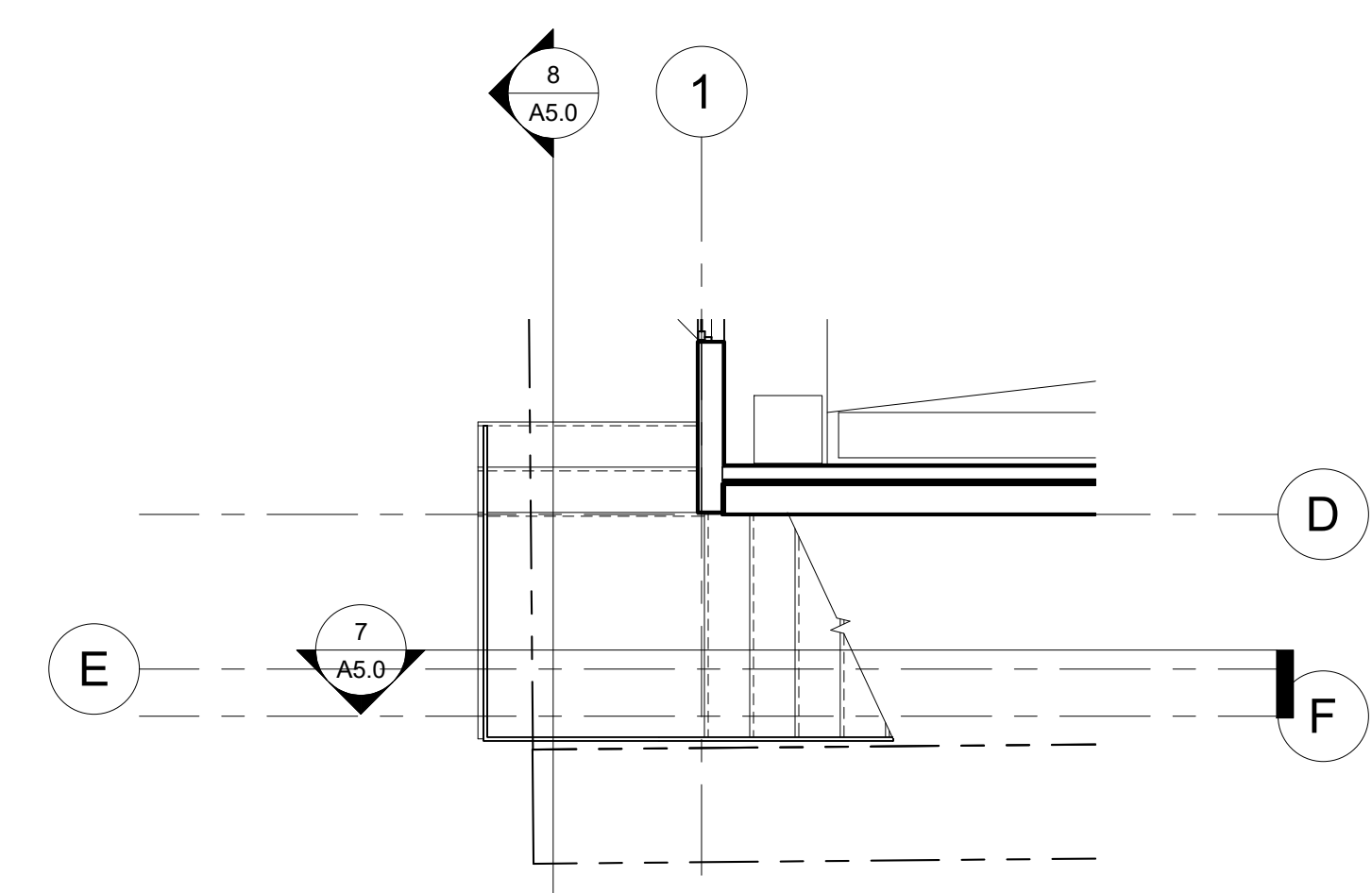
2 ENTRY LEVEL - STAIR 1  
1/4" = 1'-0"



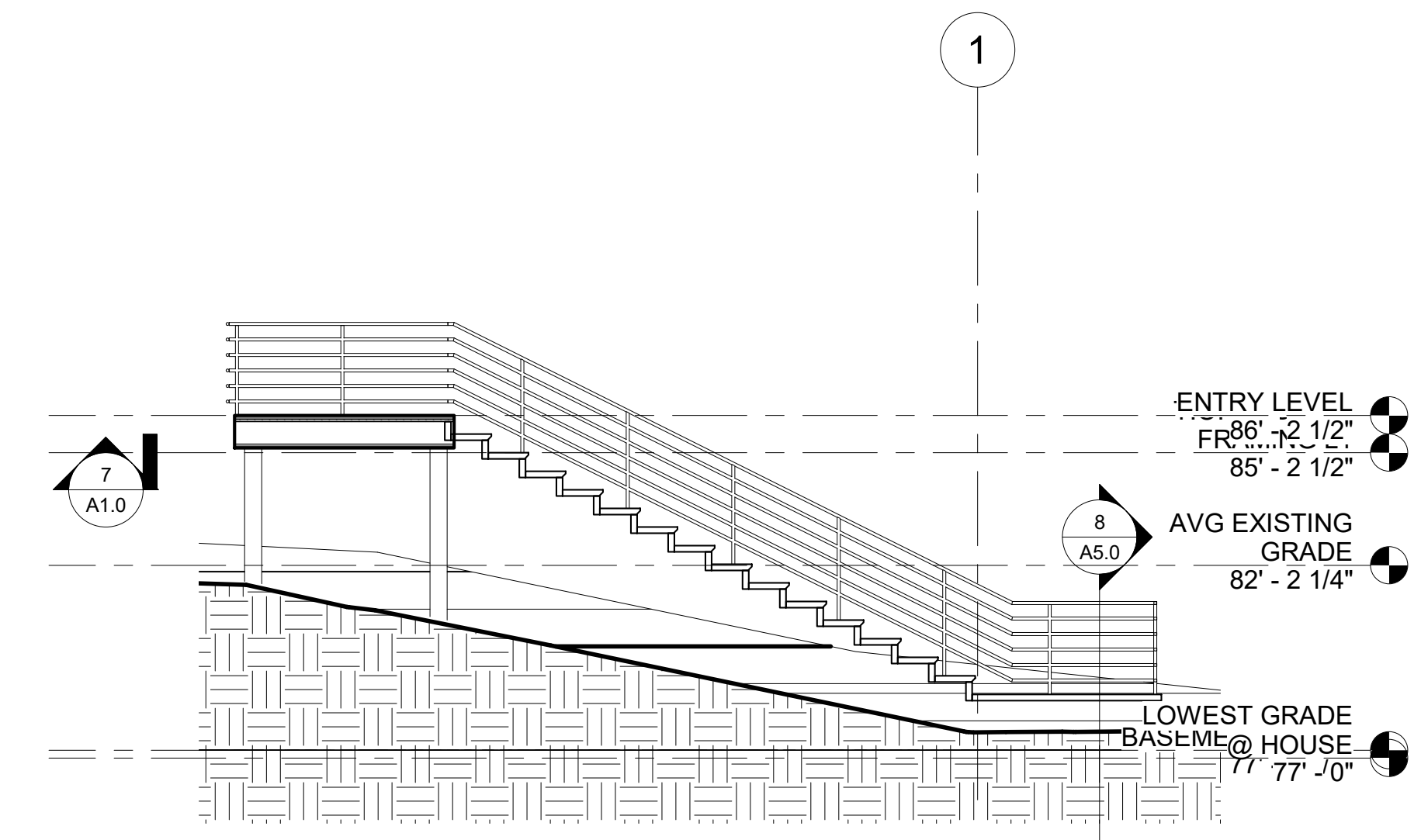
3 UPPER LEVEL - STAIR 1  
1/4" = 1'-0"



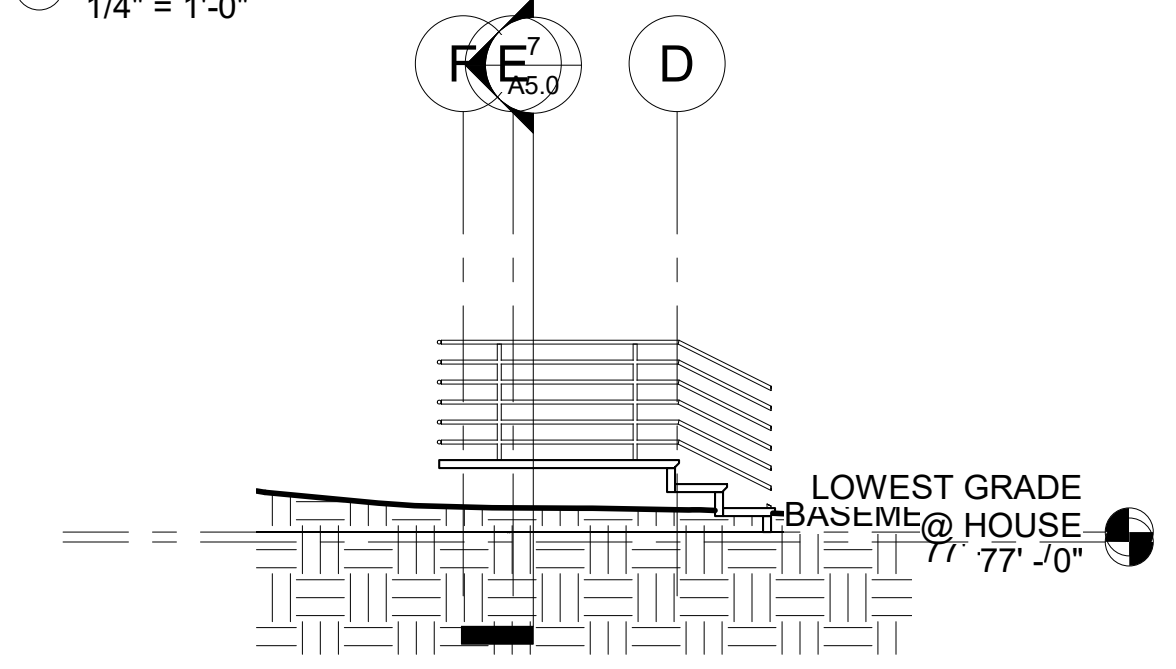
4 Section 19  
1/4" = 1'-0"



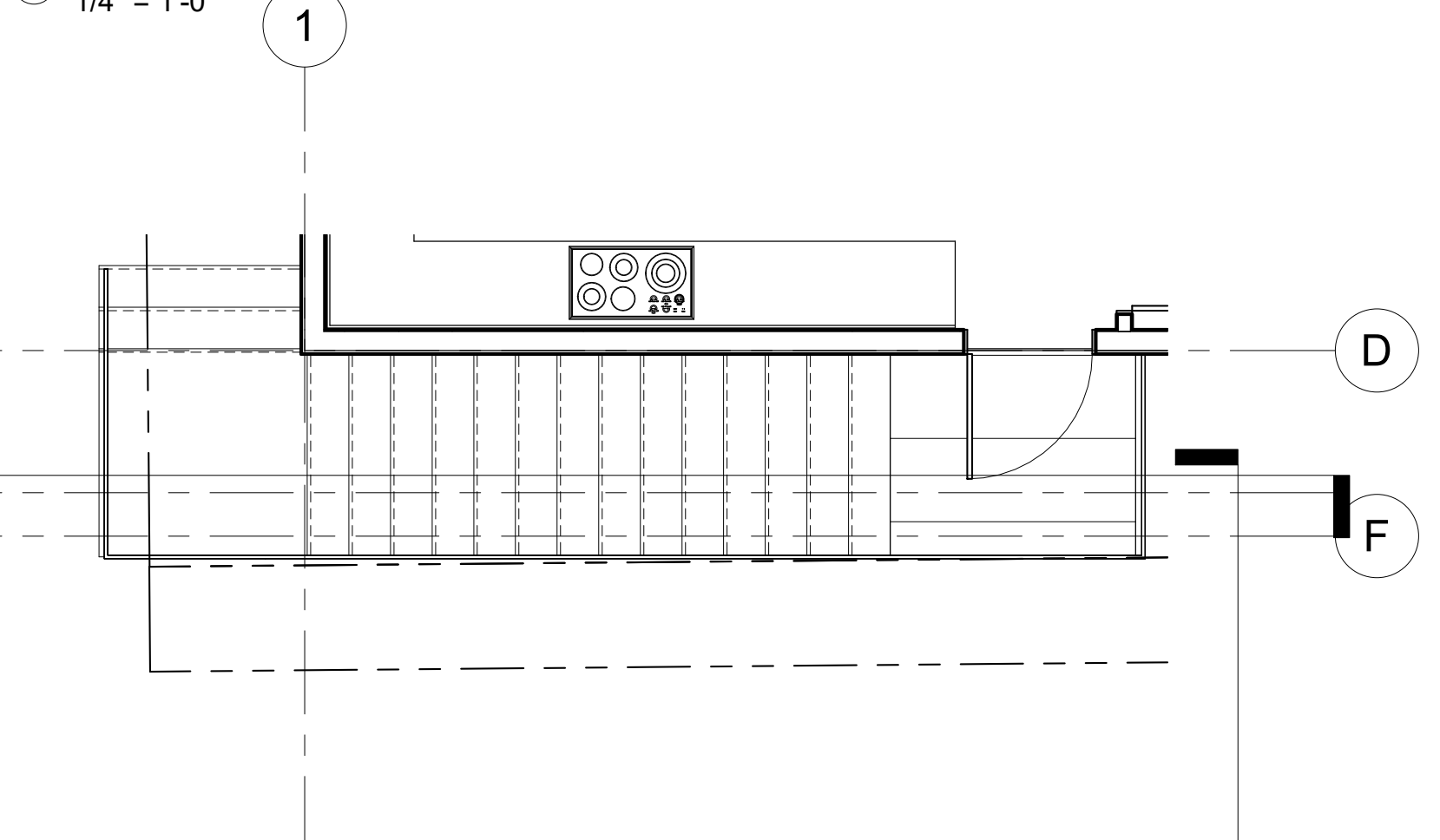
5 BASEMENT LEVEL - STAIR 2  
1/4" = 1'-0"





7 Section C-C  
1/4" = 1'-0"



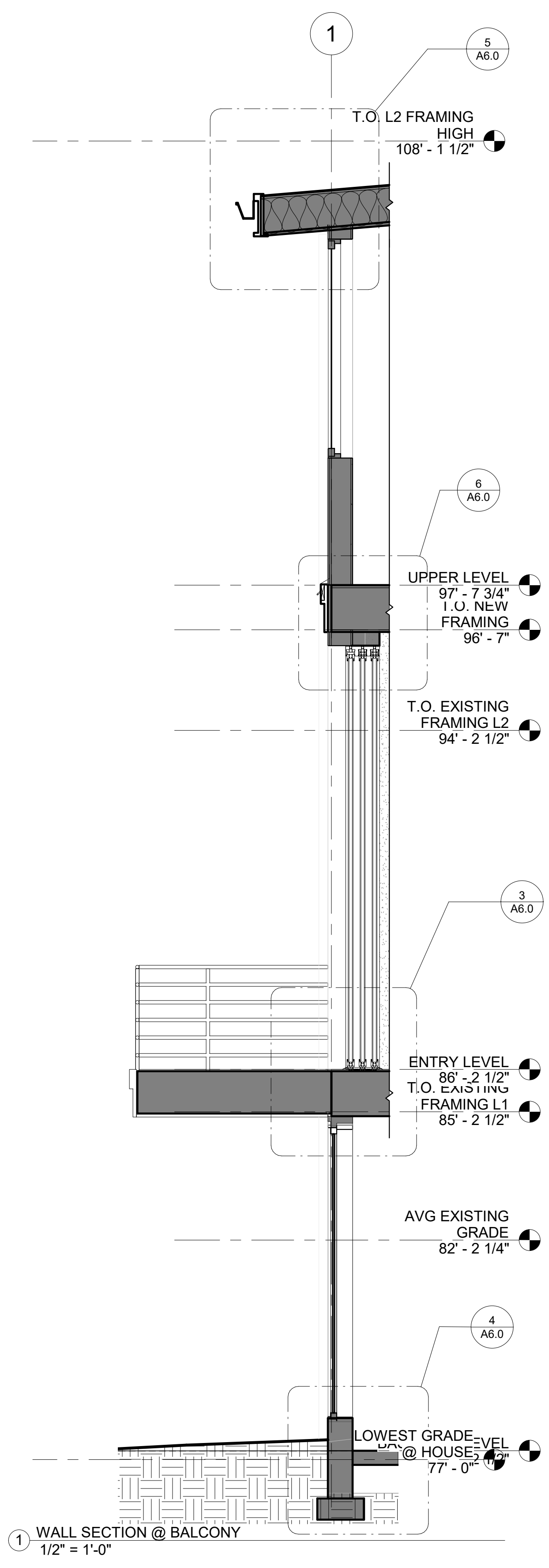
8 Section D-D  
1/4" = 1'-0"



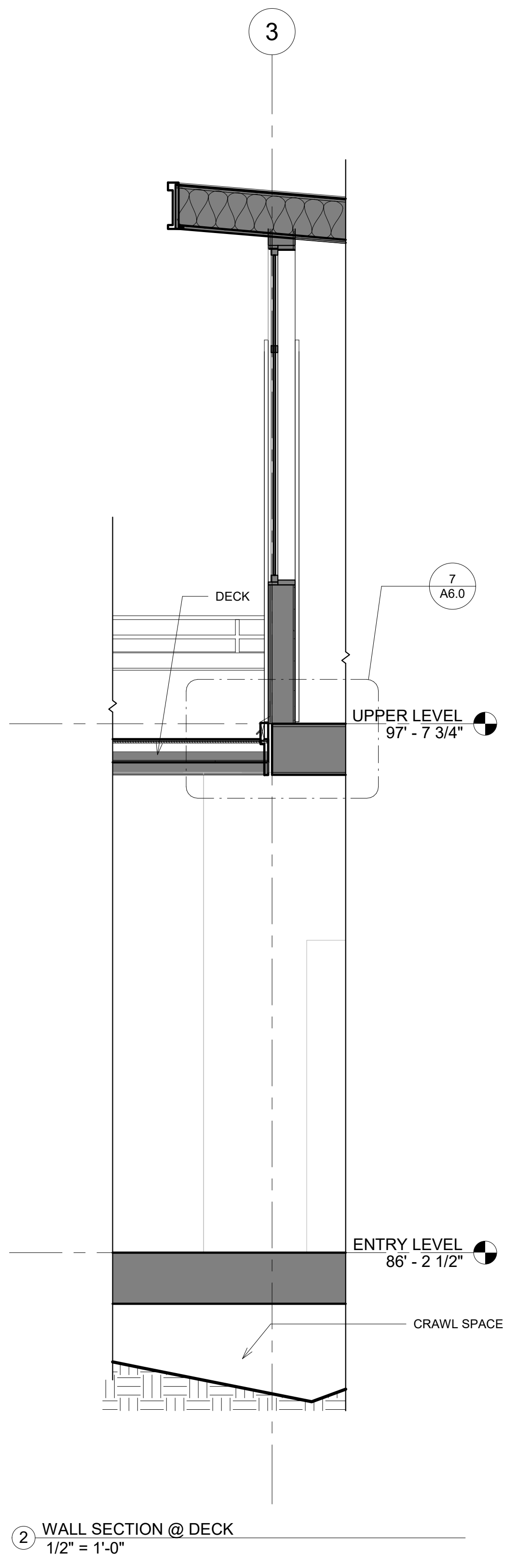
6 ENTRY LEVEL - STAIR 2  
1/4" = 1'-0"

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DRAWING TITLE VERTICAL CIRCULATION	
DRAWN Author	DESIGNED Designer
DATE 07/06/17	
GRAPHIC SCALE 1/4" = 1'-0"	
PROJECT NO. 18-009	
DRAWING NO. A5.0	REVISION NO.

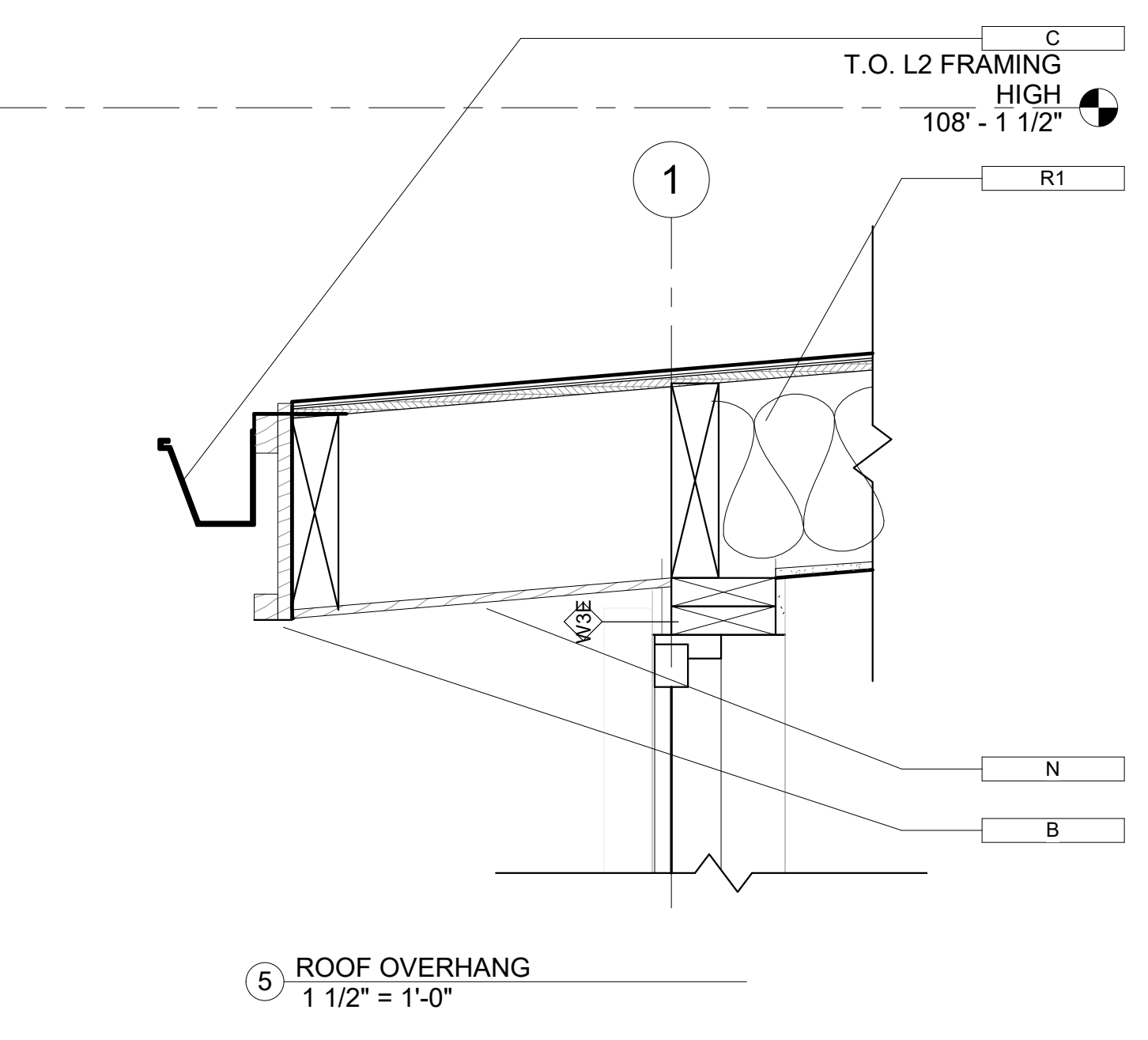
FILE NAME  
PLOT TIME  
DATE



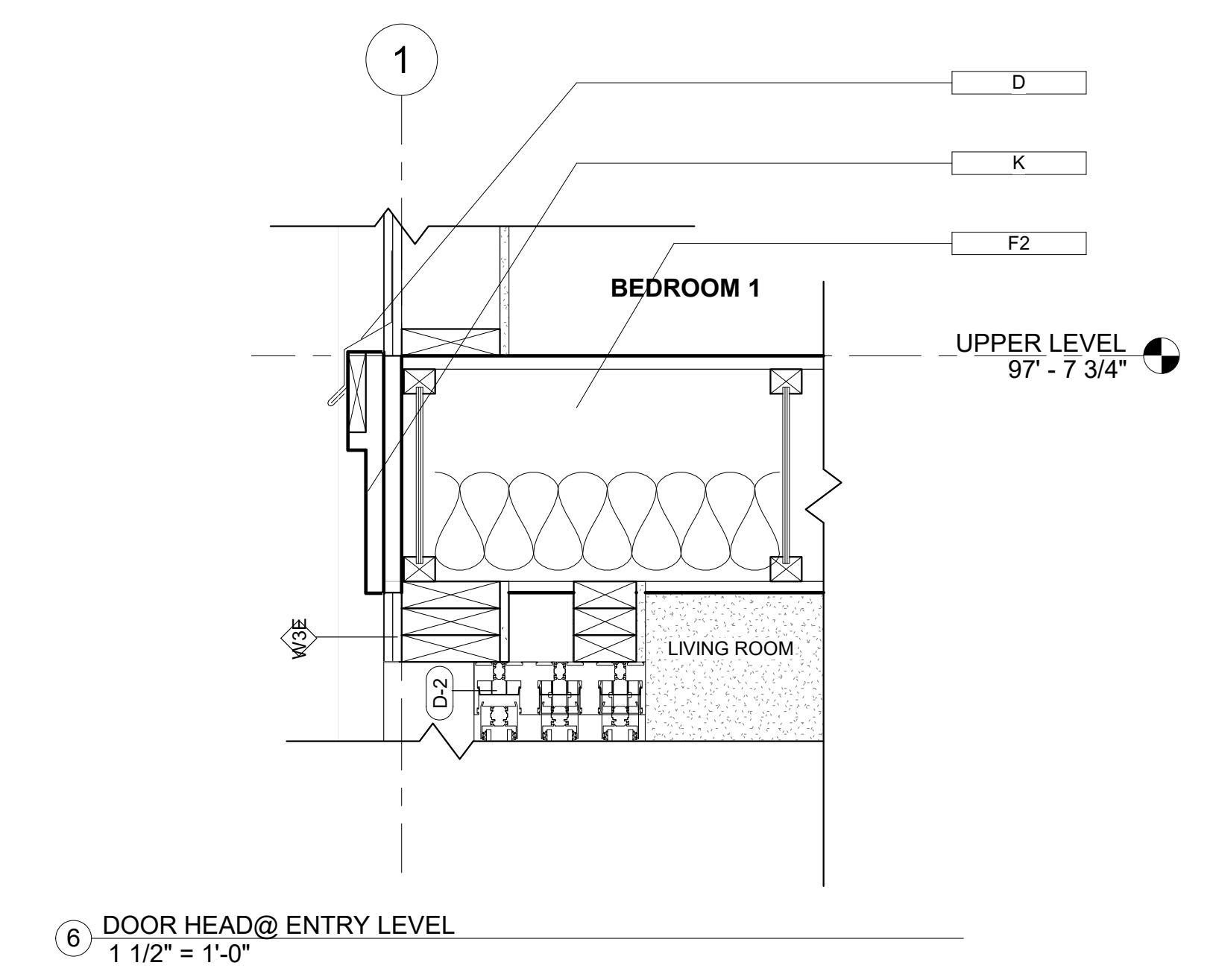
1 WALL SECTION @ BALCONY  
1/2" = 1'-0"



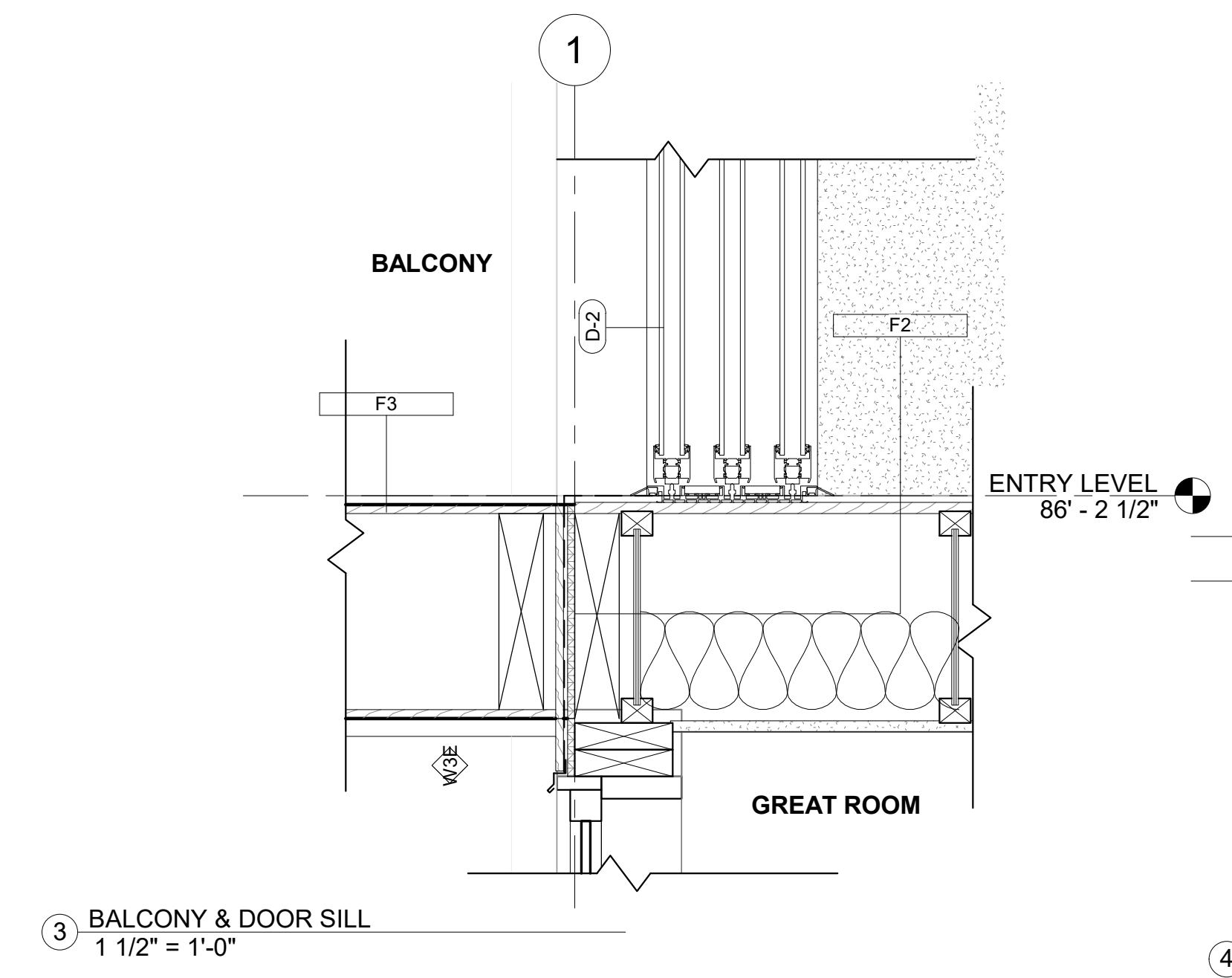
2 WALL SECTION @ DECK  
1/2" = 1'-0"



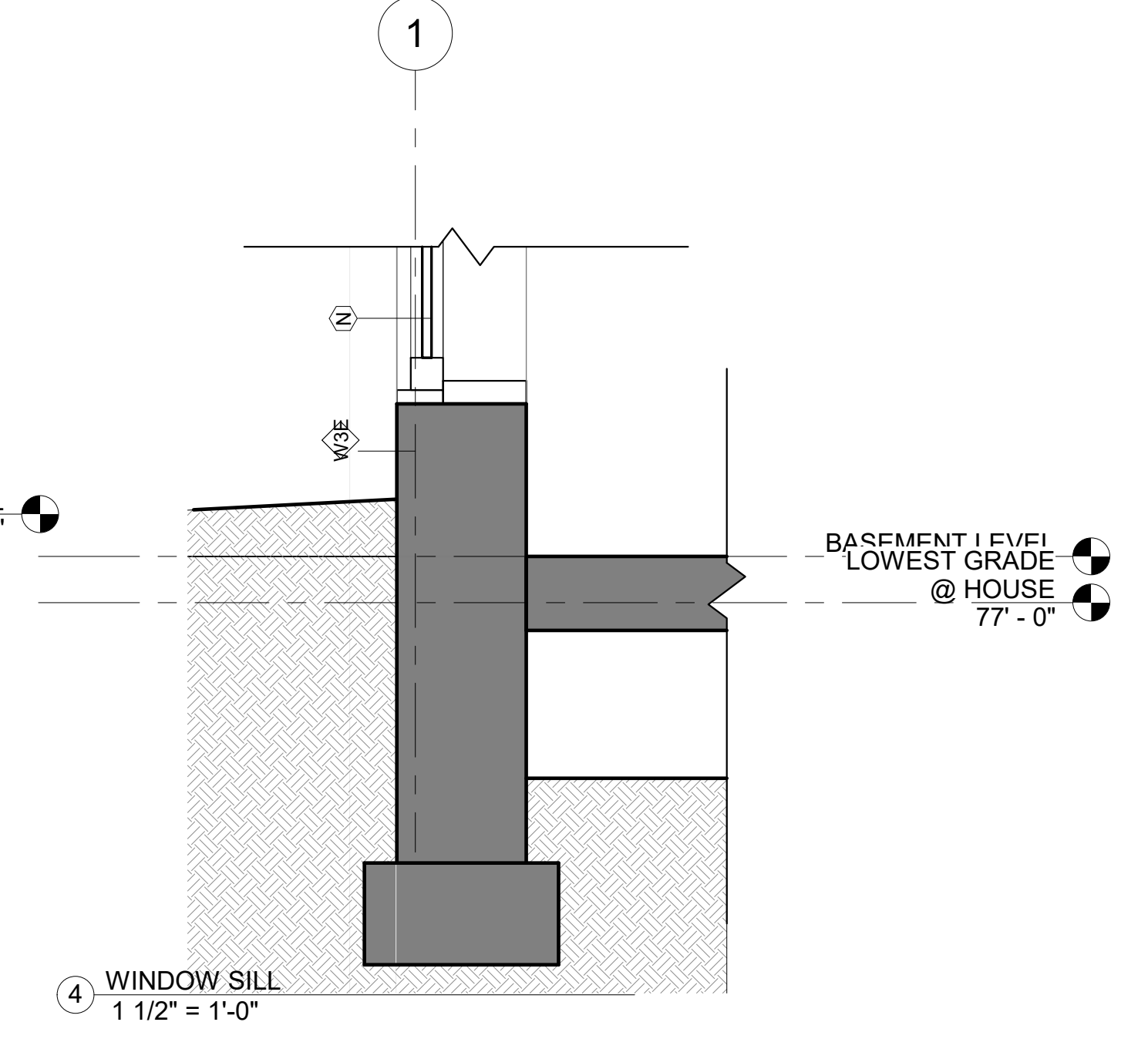
5 ROOF OVERHANG  
1 1/2" = 1'-0"



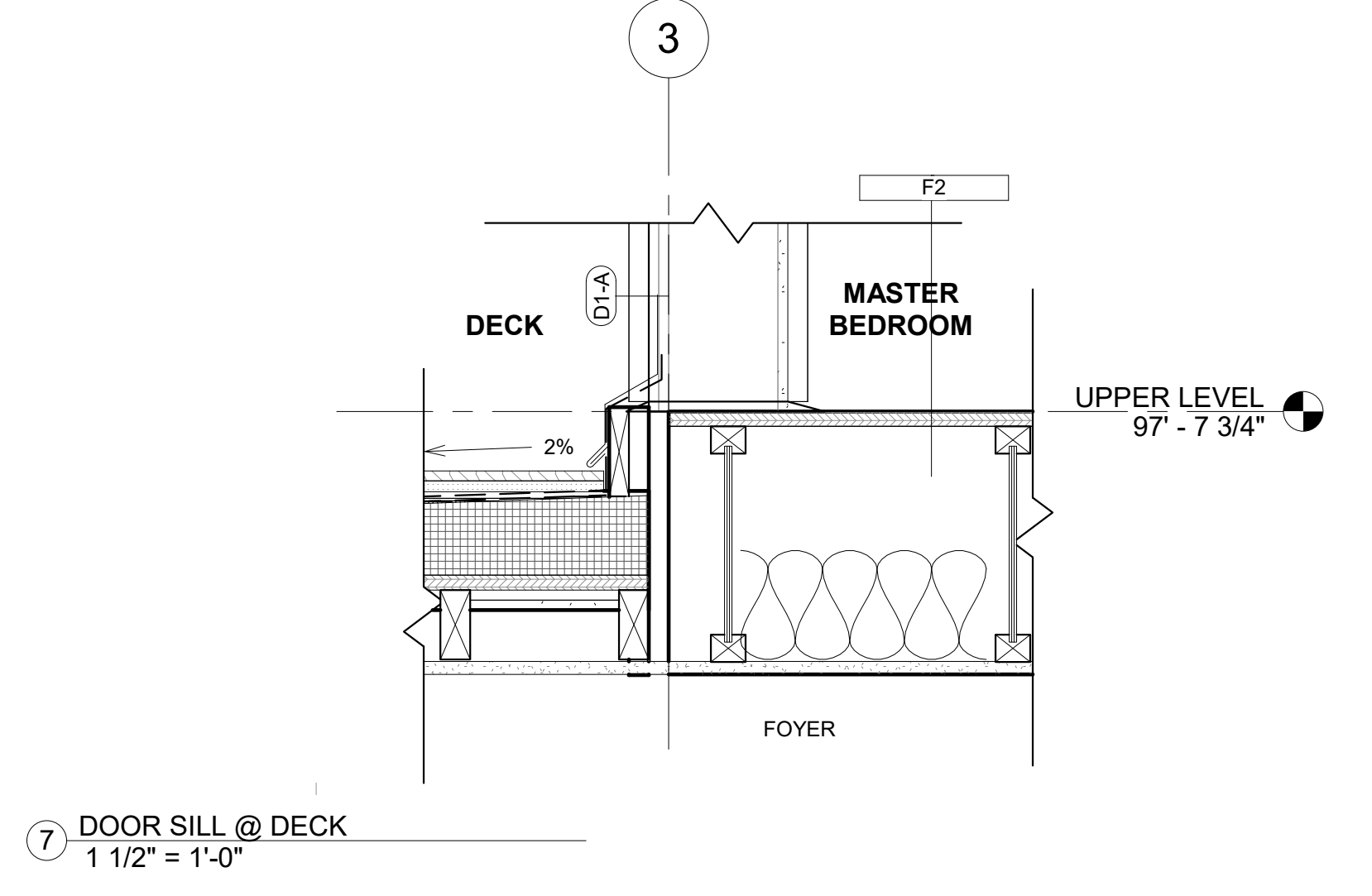
6 DOOR HEAD @ ENTRY LEVEL  
1 1/2" = 1'-0"




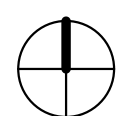
3 BALCONY & DOOR SILL  
1 1/2" = 1'-0"





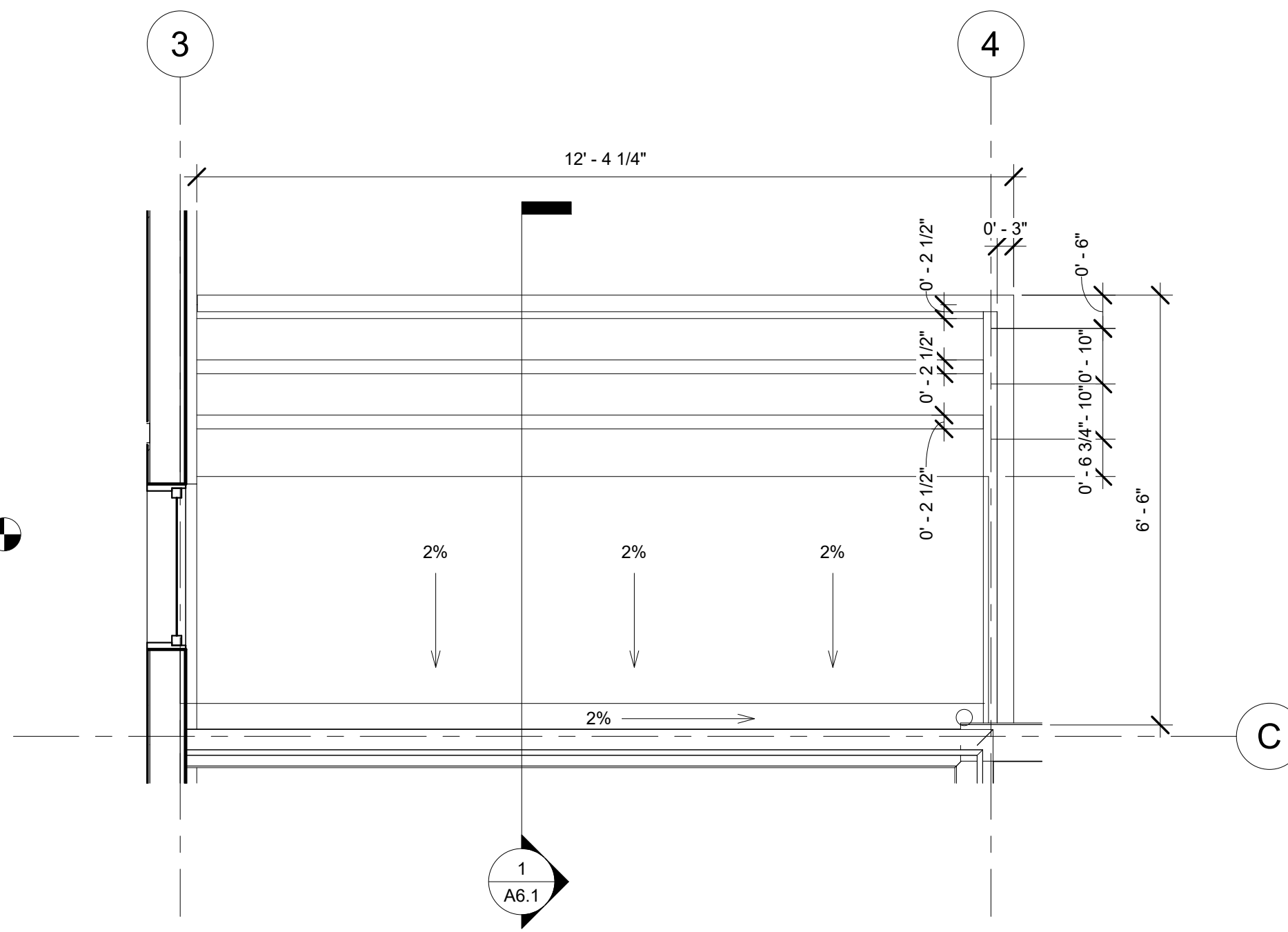
4 WINDOW SILL  
1 1/2" = 1'-0"



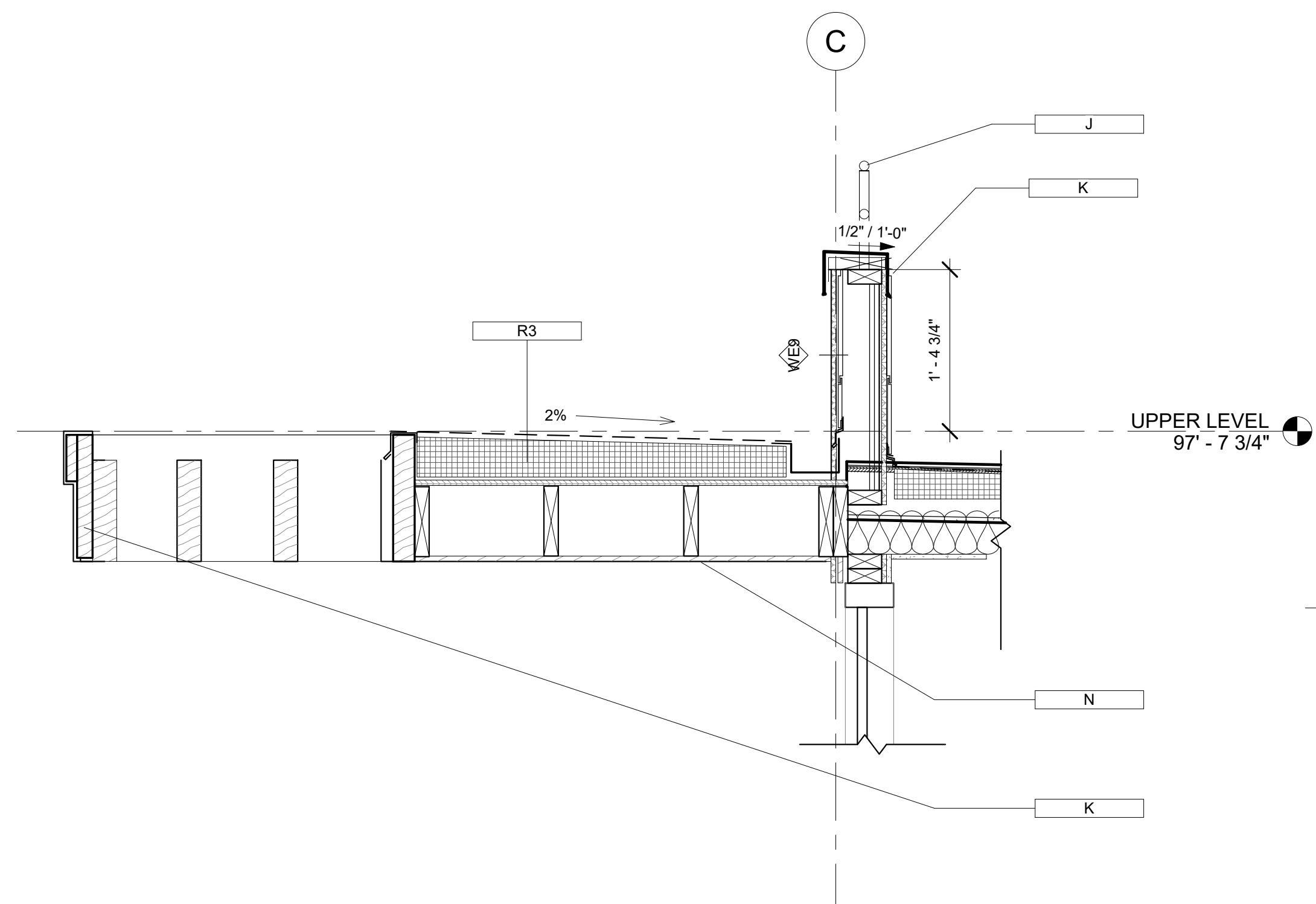
7 DOOR SILL @ DECK  
1 1/2" = 1'-0"

PROJECT <b>PAEK RESIDENCE</b>	
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CLIENT <b>TIMOTHY PAEK</b>	
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DRAWING TITLE <b>WALL SECTIONS &amp; DETAILS</b>	
DRAWN Author	DESIGNED Designer
DATE <b>07/06/17</b>	
GRAPHIC SCALE As indicated	
PROJECT NO. <b>18-009</b>	
DRAWING NO. <b>A6.0</b>	REVISION NO.

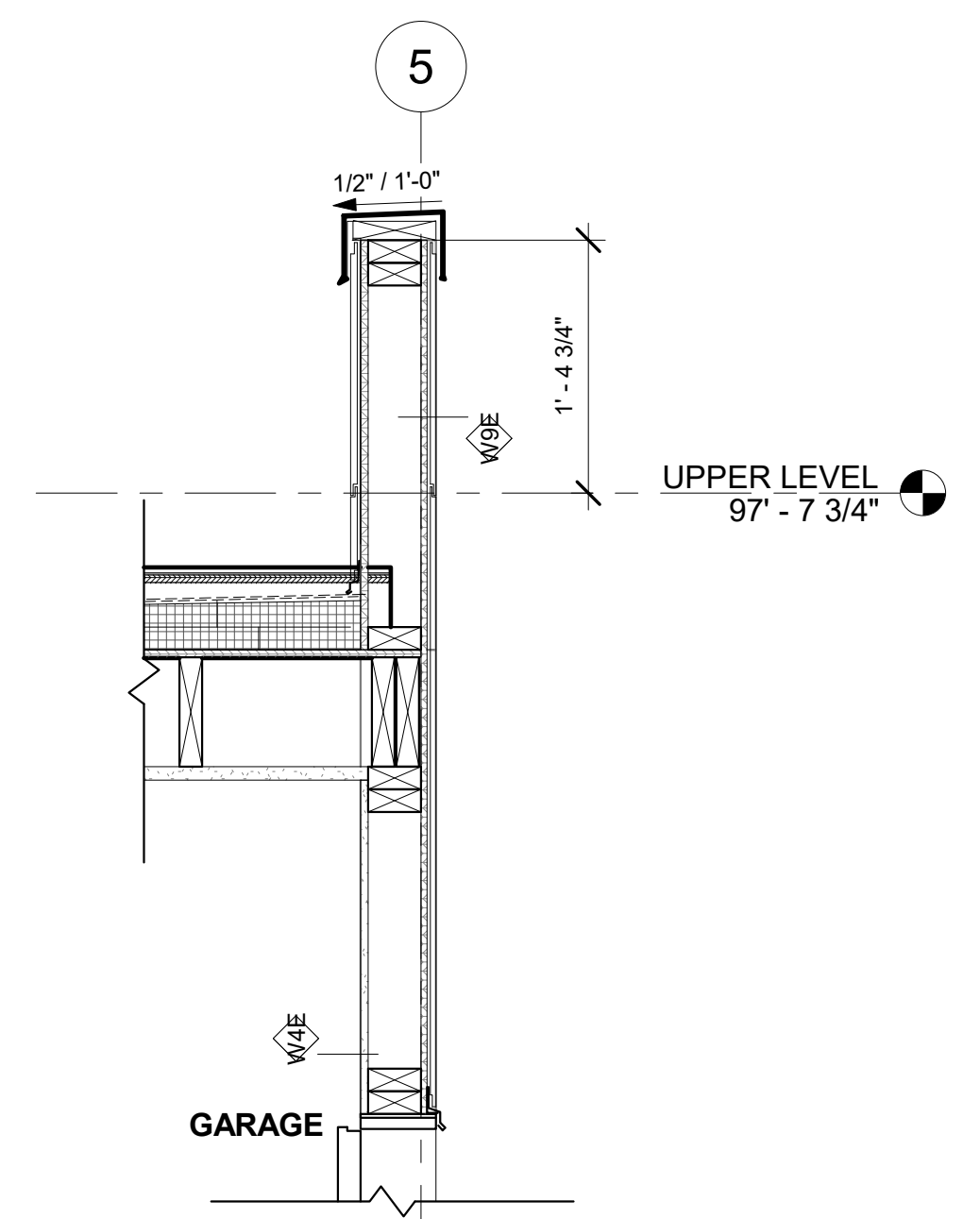
PROJECT PAEK RESIDENCE	
ADDRESS 2215 80TH AVE SE MERCER ISLAND, WA 98040	
CLIENT TIMOTHY PAEK	
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DRAWING TITLE WALL SECTIONS & DETAILS	
DRAWN Author	DESIGNED Designer
DATE 08/16/18	
GRAPHIC SCALE As indicated	
PROJECT NO. 18-009	
DRAWING NO. A6.1	REVISION NO.



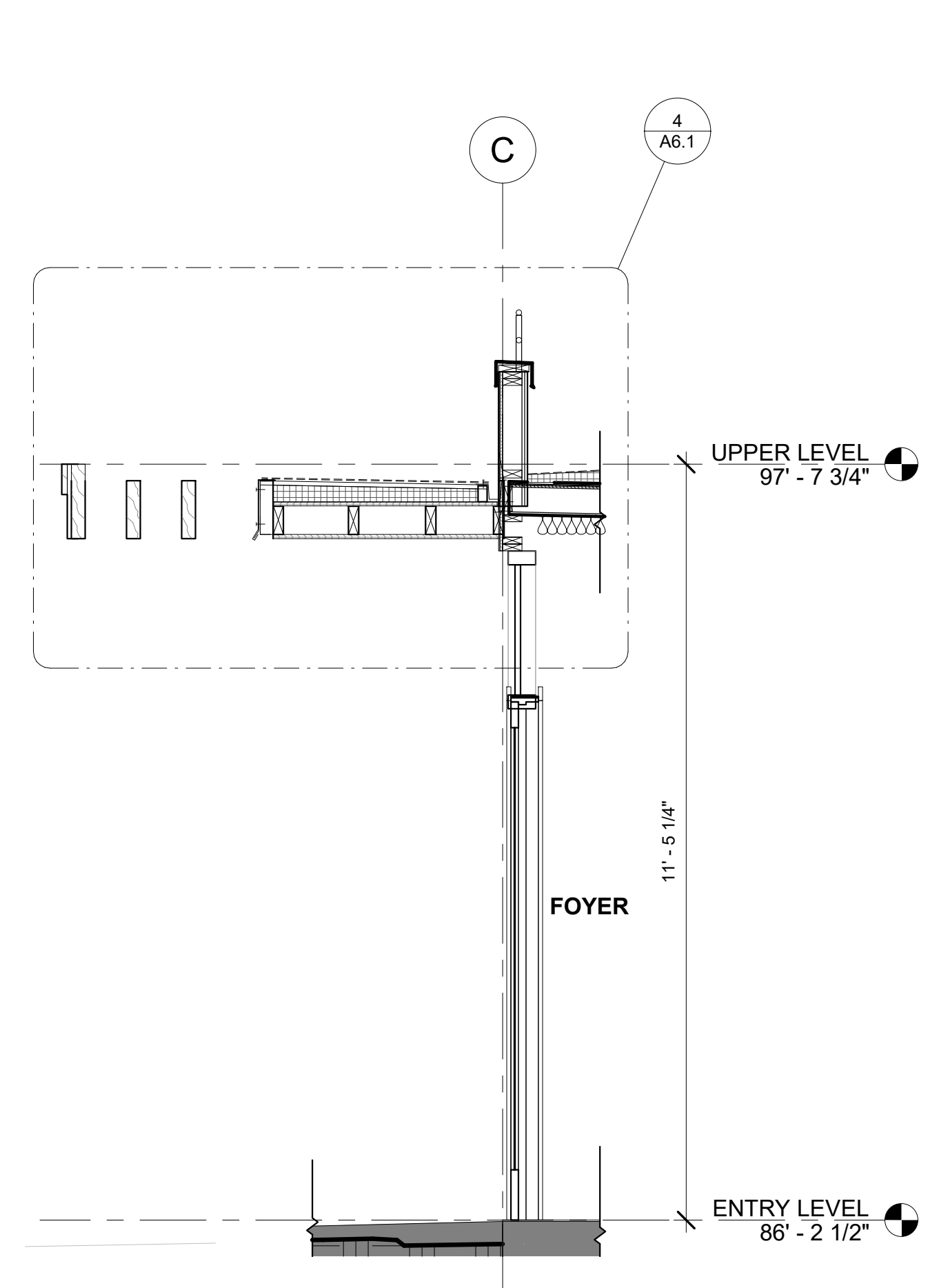
5 ENTRY CANOPY PLAN  
1/2" = 1'-0"



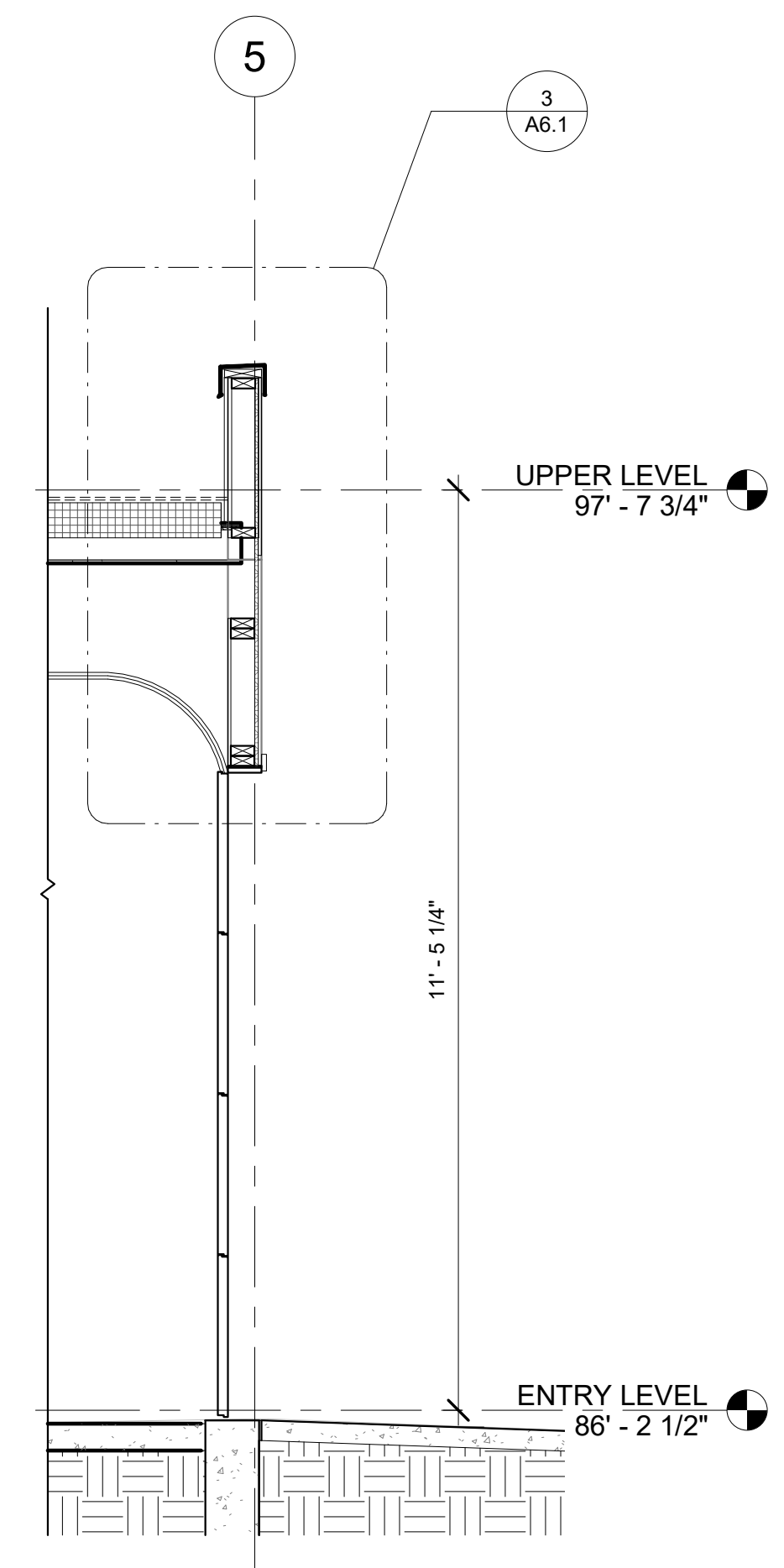
4 ENTRY CANOPY SECTION  
1" = 1'-0"



3 WALL SECTION @ GARAGE DOOR -  
Callout 1  
1" = 1'-0"



1 WALL SECTION @ ENTRY  
1/2" = 1'-0"

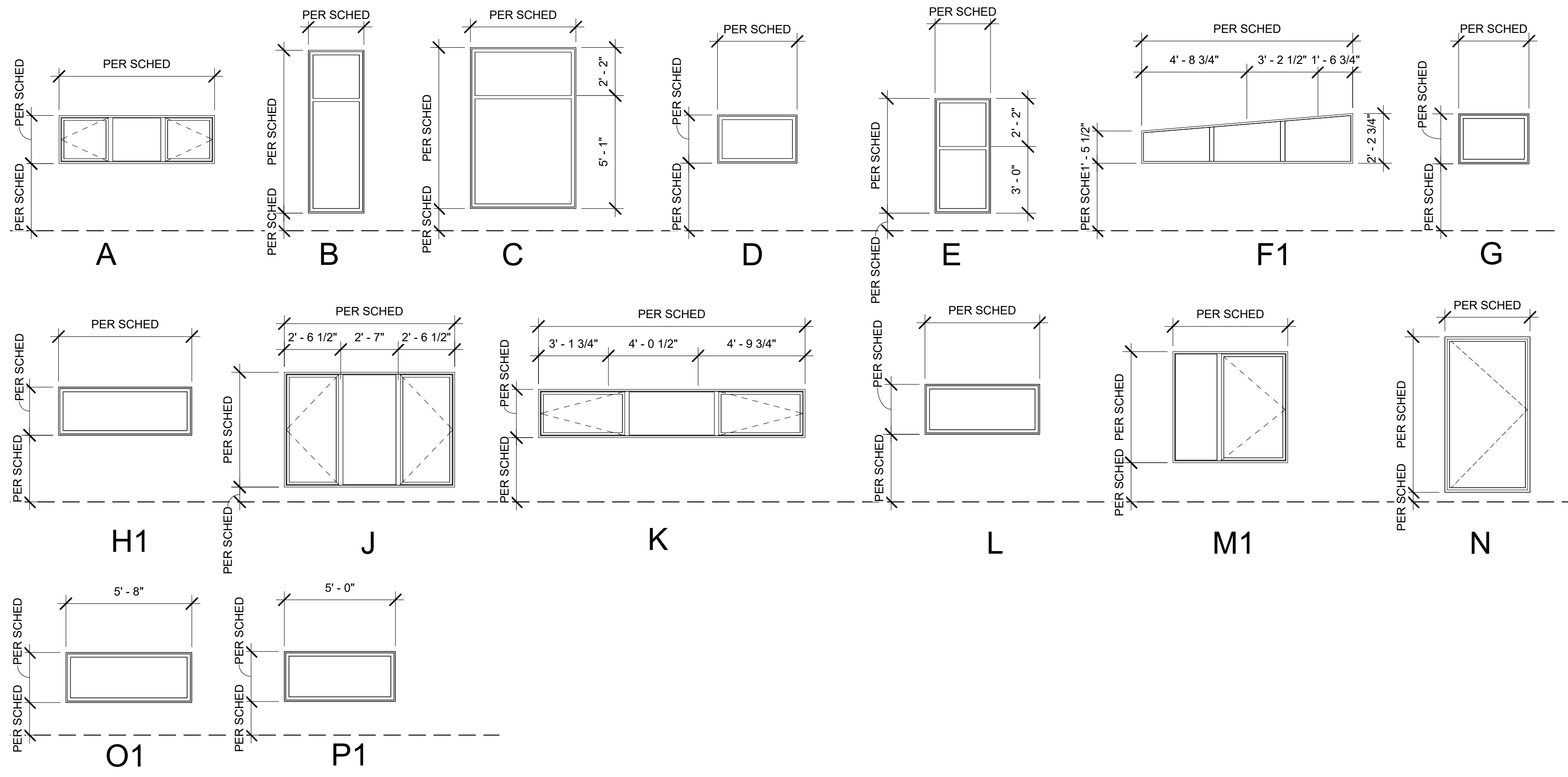


2 WALL SECTION @ GARAGE DOOR  
1/2" = 1'-0"

24"x36" Arch D - SHEET SIZE

24"x36" Arch D - SHEET SIZE

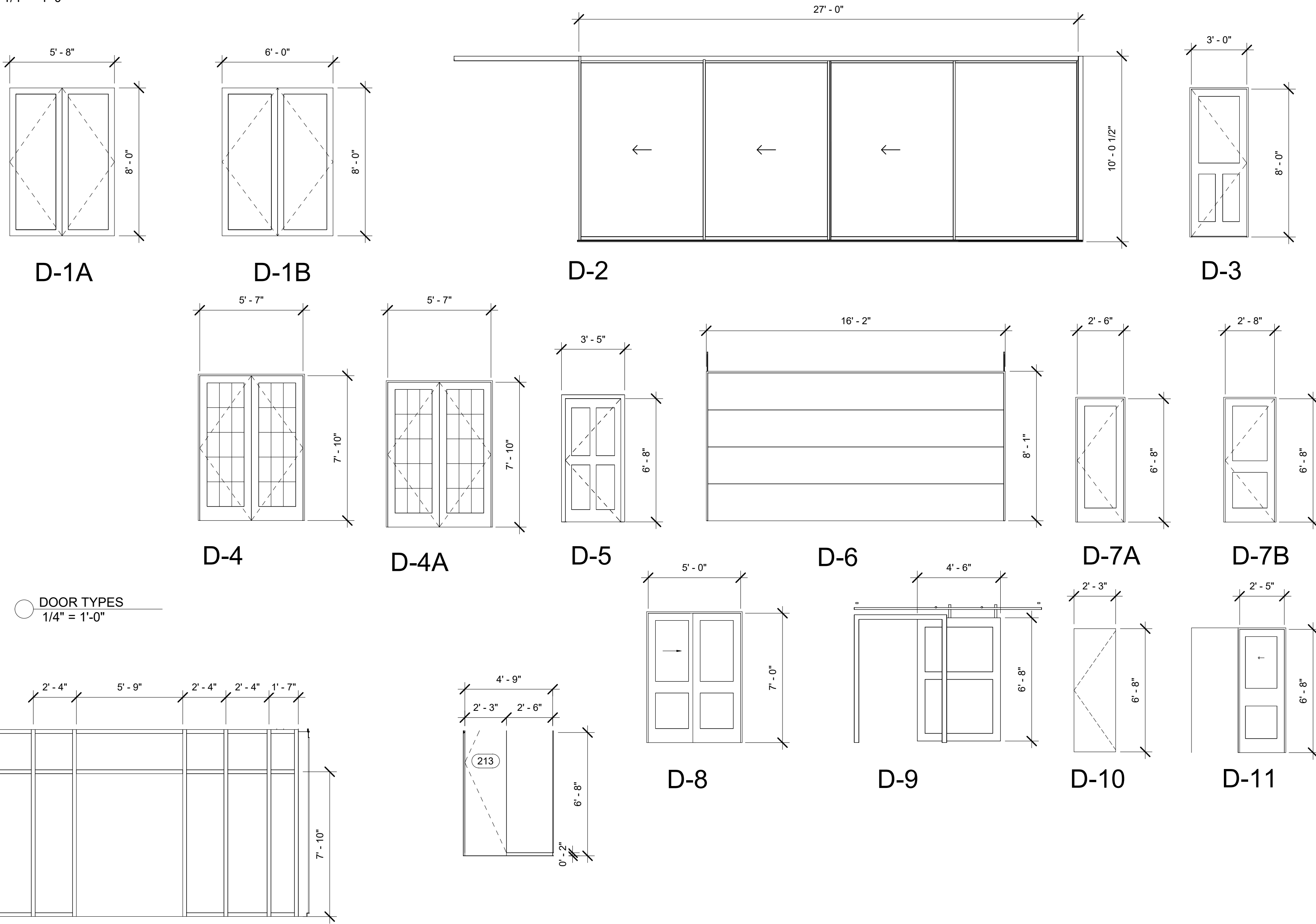
Window Schedule								
Level	Type Mark	MATERIAL	Width	Height	Sill Height	Window Area	U-Factor	UA
BASEMENT LEVEL	M1	VINYL	5'-2"	5'-0"	3'-0"	26 SF	0.3	7.75
BASEMENT LEVEL	N	VINYL	3'-10"	7'-0"	0'-8 1/4"	27 SF	0.3	8.05
BASEMENT LEVEL	N	VINYL	3'-10"	7'-0"	0'-8 1/2"	27 SF	0.3	8.05
BASEMENT LEVEL	N	VINYL	3'-10"	7'-0"	0'-8 1/2"	27 SF	0.3	8.05
ENTRY LEVEL	B	VINYL	2'-6"	7'-4"	3'-0"	18 SF	0.3	5.5
ENTRY LEVEL	G	VINYL	3'-2"	2'-3"	8'-1"	7 SF	0.3	2.1375
ENTRY LEVEL	L	VINYL	5'-2"	2'-3"	8'-0"	12 SF	0.3	3.4875
ENTRY LEVEL	M1	VINYL	5'-2"	5'-0"	3'-0"	26 SF	0.3	7.75
UPPER LEVEL	A	VINYL	7'-0"	2'-2"	8'-1"	15 SF	0.3	4.55
UPPER LEVEL	B	VINYL	2'-6"	7'-4"	3'-0"	18 SF	0.3	5.5
UPPER LEVEL	B	VINYL	2'-6"	7'-4"	3'-0"	18 SF	0.3	5.5
UPPER LEVEL	B	VINYL	2'-6"	7'-4"	3'-0"	18 SF	0.3	5.5
UPPER LEVEL	B	VINYL	2'-6"	7'-4"	3'-0"	18 SF	0.3	5.5
UPPER LEVEL	B	VINYL	2'-6"	7'-4"	3'-0"	18 SF	0.3	5.5
UPPER LEVEL	C	VINYL	4'-9"	7'-3"	3'-0"	34 SF	0.3	10.33125
UPPER LEVEL	D	VINYL	3'-7"	2'-2"	6'-0"	8 SF	0.3	2.329167
UPPER LEVEL	E	VINYL	2'-6"	5'-2"	3'-0"	13 SF	0.3	3.875
UPPER LEVEL	E	VINYL	2'-6"	5'-2"	3'-0"	13 SF	0.3	3.875
UPPER LEVEL	F1	VINYL	9'-6"	2'-2"	8'-2"	21 SF	0.3	6.175
UPPER LEVEL	H1	VINYL	6'-0"	2'-2"	6'-0"	13 SF	0.3	3.9
UPPER LEVEL	J1	VINYL	7'-8"	5'-2"	3'-0"	40 SF	0.3	11.883333
UPPER LEVEL	J1	VINYL	7'-8"	5'-2"	3'-0"	40 SF	0.3	11.883333
UPPER LEVEL	K	VINYL	12'-0"	2'-2"	6'-0"	26 SF	0.3	7.8
UPPER LEVEL	O1	VINYL	5'-8"	2'-3"	8'-1"	13 SF	0.3	3.825
UPPER LEVEL	P1	VINYL	5'-0"	2'-3"	6'-0"	11 SF	0.3	3.375
						507 SF		152.077083



WINDOW TYPES  
1/4" = 1'-0"

Door Schedule													
Level	Mark	Type	Height	Width	Door Material	Door Finish	Frame Material	Frame Finish	Fire Rating	Door Area	U-Value	UA	
BASEMENT LEVEL	006	D-1B	8'-0"	6'-0"						NR	48	0.5	24
BASEMENT LEVEL	005	D-7A	6'-8"	2'-6"						NR	16.67		
BASEMENT LEVEL	001	D-7A	6'-8"	2'-6"						NR	16.67		
BASEMENT LEVEL	003	D-7A	6'-8"	2'-6"						NR	16.67		
BASEMENT LEVEL	002	D-7B	6'-8"	2'-8"						NR	17.78		
BASEMENT LEVEL	004	D-11	6'-8"	2'-6"						NR	16.67		
ENTRY LEVEL	109	D-2	10'-0"	20'-6 1/4"						NR	205.29	0.5	102.64
ENTRY LEVEL	D-2	D-2	10'-0"	20'-6 1/4"						NR	205.29	0.5	102.64
ENTRY LEVEL	101	D-3	8'-0"	3'-0"						NR	24		
ENTRY LEVEL	106	D-4	7'-10"	5'-7"						NR	43.74		
ENTRY LEVEL	105	D-5	6'-8"	3'-0"	Finishes - Paint - White	Door - Panel	Finishes - Paint - White		20 MIN.	20			
ENTRY LEVEL	107	D-6	8'-0"	16'-0"						NR	128		
ENTRY LEVEL	102	D-7A	6'-8"	2'-6"						NR	16.67		
ENTRY LEVEL	103	D-7A	6'-8"	2'-6"						NR	16.67		
ENTRY LEVEL	104	D-7A	6'-8"	2'-6"						NR	16.67		
UPPER LEVEL	D1-A	D-1A	8'-0"	5'-8"						NR	45.33	0.5	22.67
UPPER LEVEL	203	D-4A	6'-8"	4'-10"						NR	32.22		
UPPER LEVEL	208	D-7A	6'-8"	2'-6"						NR	16.67		
UPPER LEVEL	207	D-7A	6'-8"	2'-6"						NR	16.67		
UPPER LEVEL	201	D-7A	6'-8"	2'-6"						NR	16.67		
UPPER LEVEL	202	D-7A	6'-8"	2'-6"						NR	16.67		
UPPER LEVEL	210	D-7B	6'-8"	2'-8"						NR	17.78		
UPPER LEVEL	204	D-7B	6'-8"	2'-8"						NR	17.78		
UPPER LEVEL	209	D-8	7'-0"	5'-0"						NR	35		
UPPER LEVEL	205	D-8	7'-0"	5'-0"						NR	35		
UPPER LEVEL	206	D-8	7'-0"	5'-0"						NR	35		
UPPER LEVEL	212	D-9	6'-8"	4'-6"						NR	30		
UPPER LEVEL	213	D-10	9'-9"	2'-3"						NR	21.96		

DOOR TYPES  
1/4" = 1'-0"



2 S2 GLASS WALL ELEVATION  
1/4" = 1'-0"

3 S1 GLASS WALL ELEVATION  
1/4" = 1'-0"

PROJECT  
**PAEK RESIDENCE**

ADDRESS  
2215 80TH AVE SE  
MERCER ISLAND, WA 98040

CLIENT  
**TIMOTHY PAEK**


---

NO. ISSUED \_\_\_\_\_ DATE \_\_\_\_\_

REVISIONS \_\_\_\_\_

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**M Z A**  
ARCHITECTURE

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Bellevue WA 98004

425.559.7888  
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STAMP  
REGISTERED ARCHITECT  
Ming Zhang  
STATE OF WASHINGTON

DRAWING TITLE  
**WINDOW & DOOR TYPE AND SCHEDULE**

DRAWN Author DESIGNER Designer

DATE 07/06/17

GRAPHIC SCALE 1/4" = 1'-0"

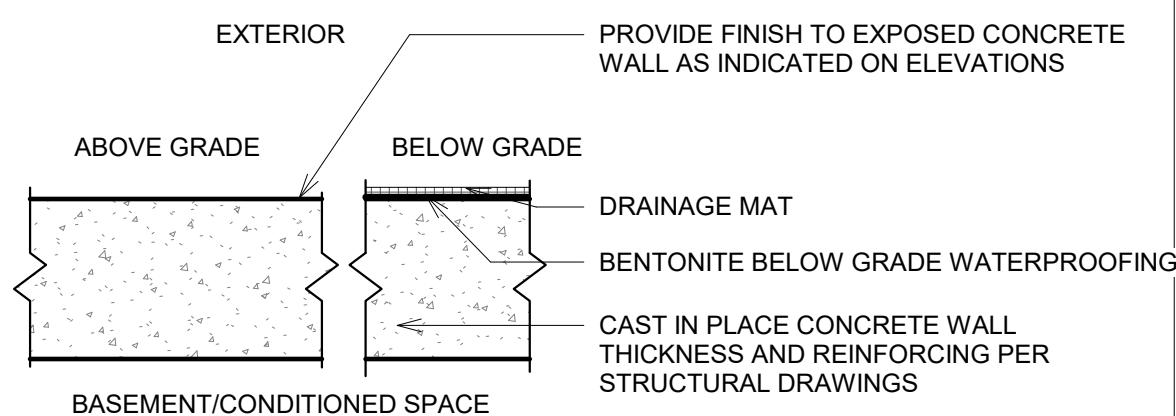
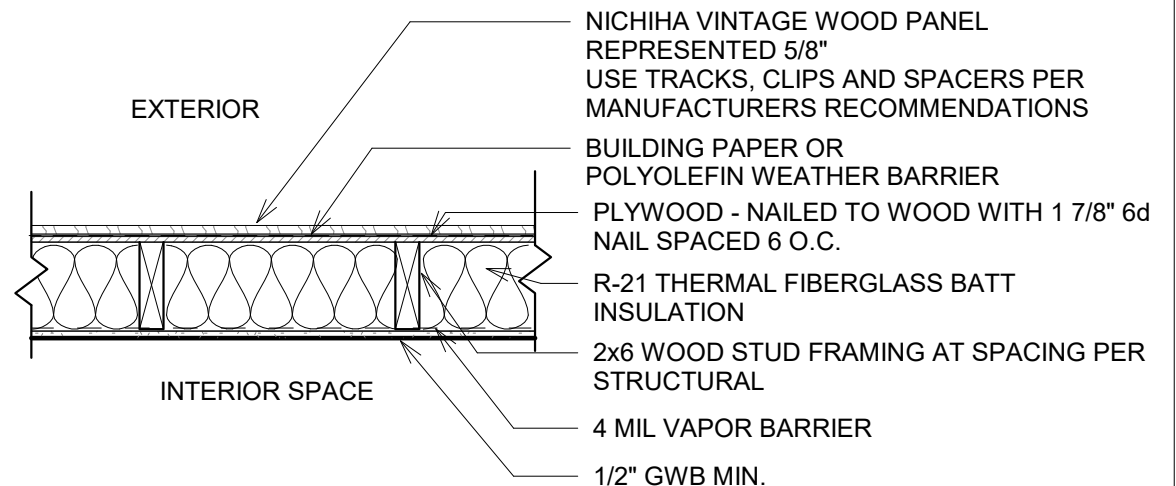
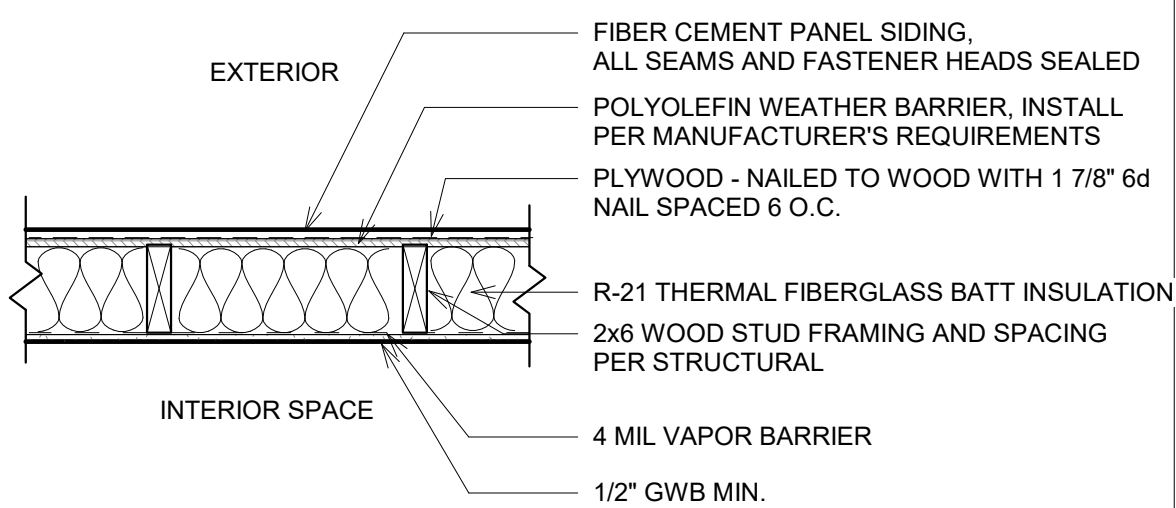
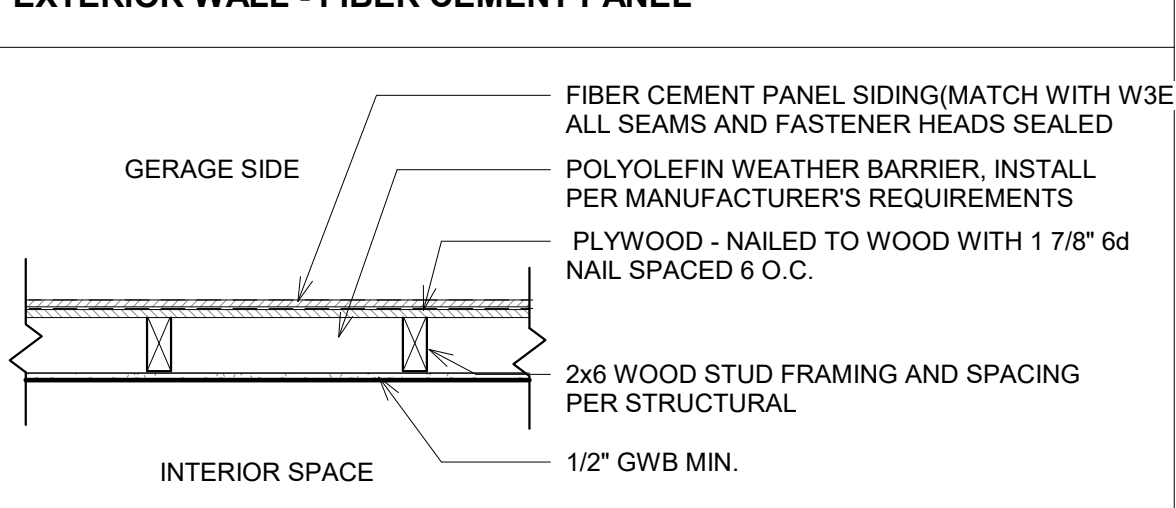
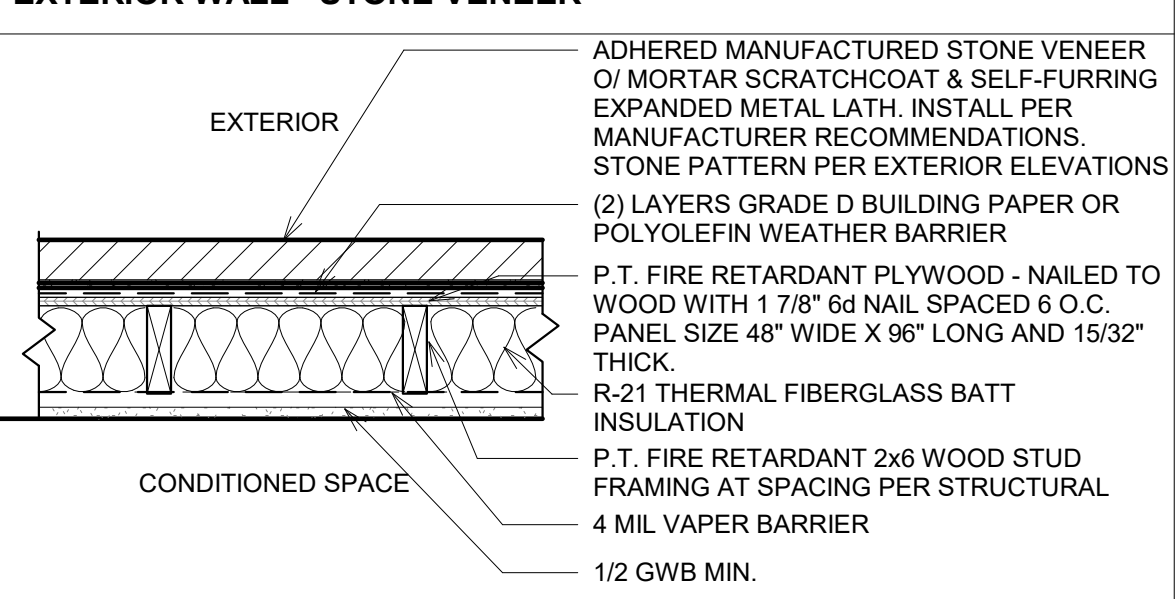
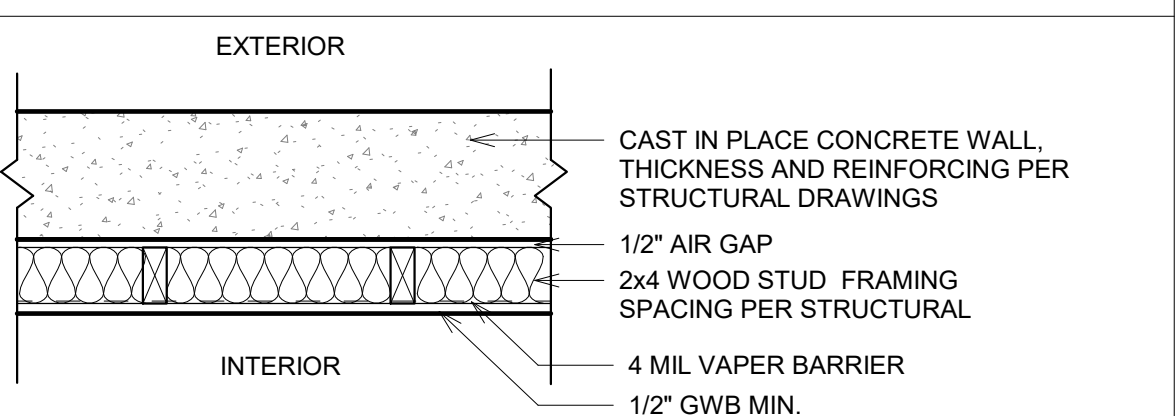
PROJECT NO. 18-009

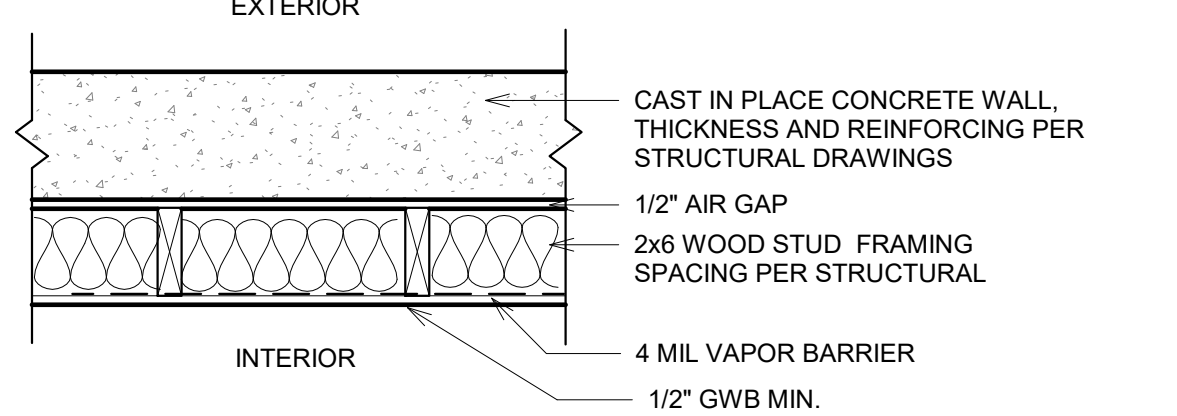
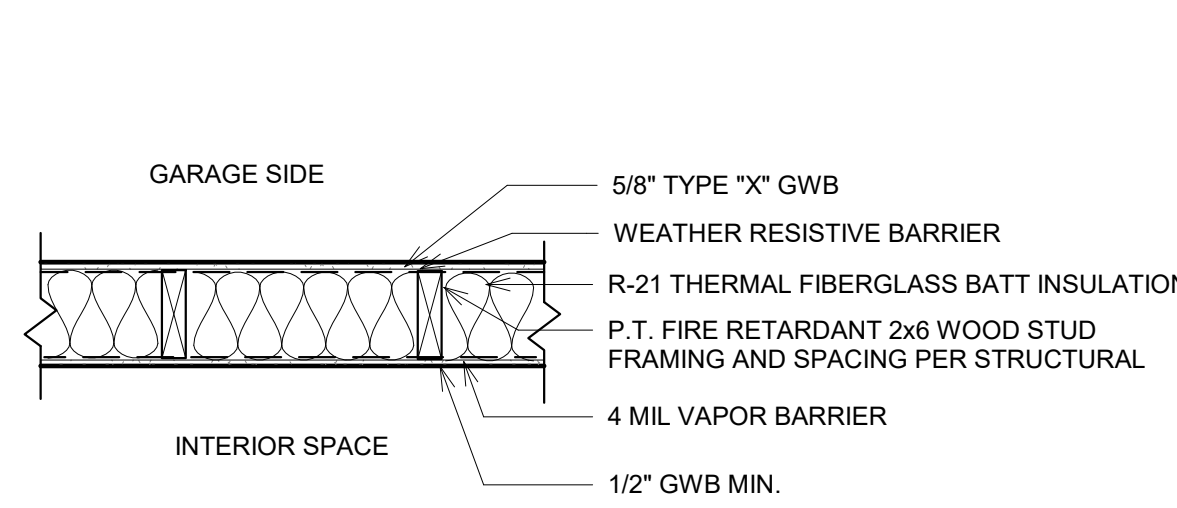
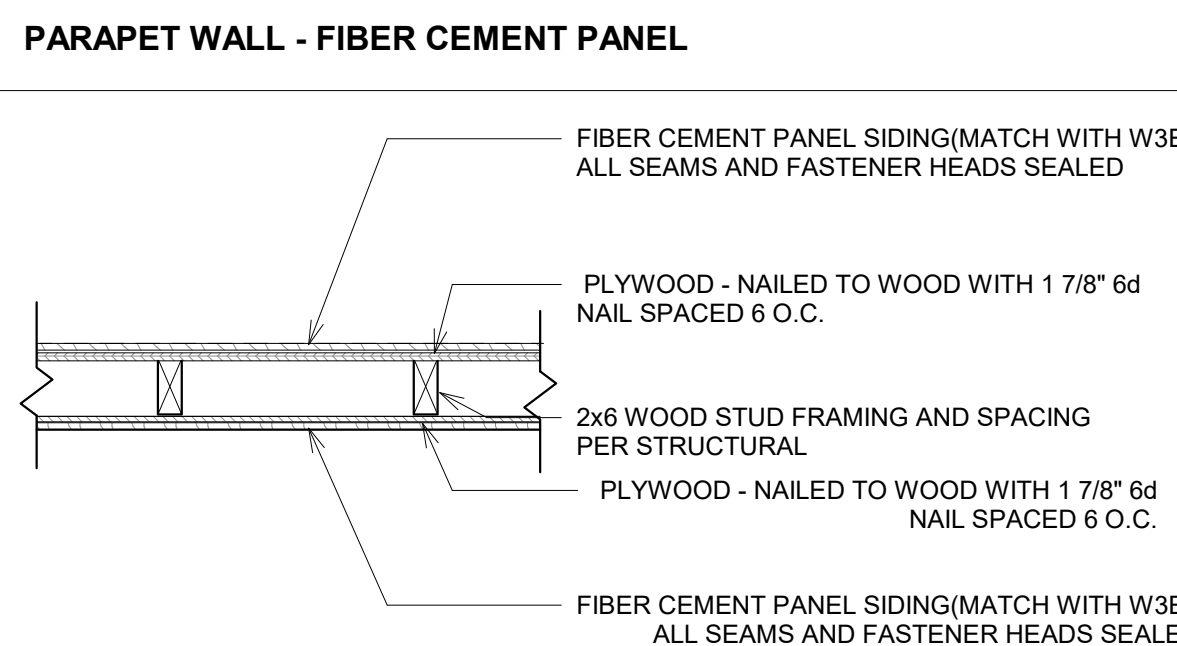
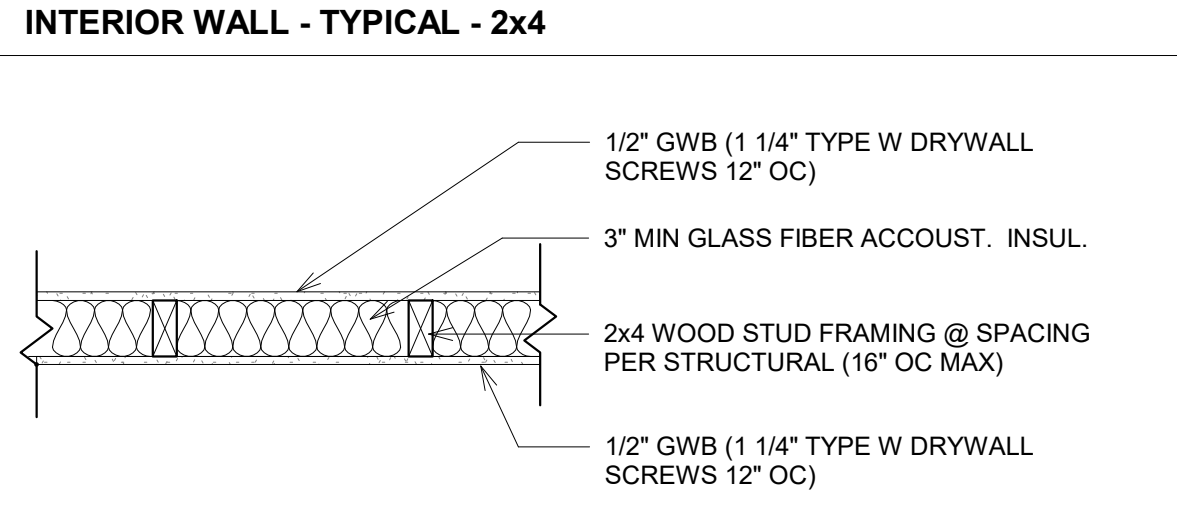
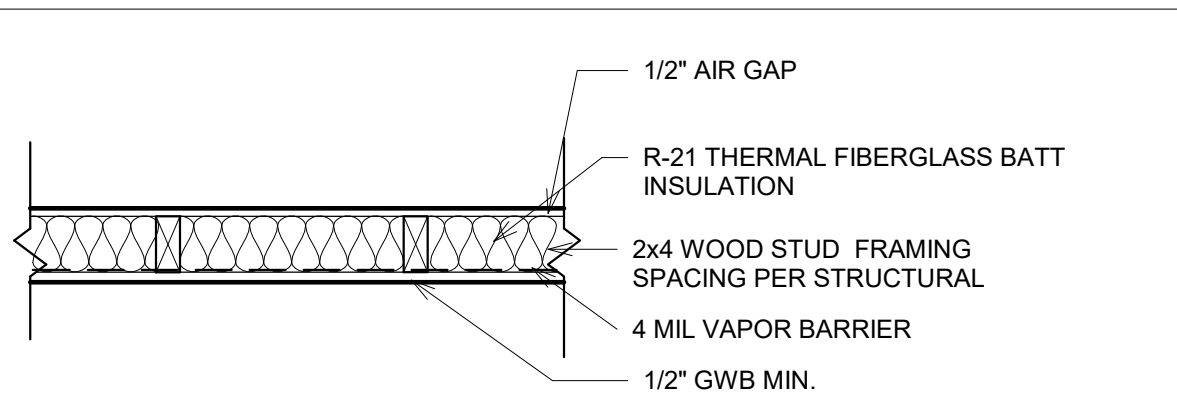
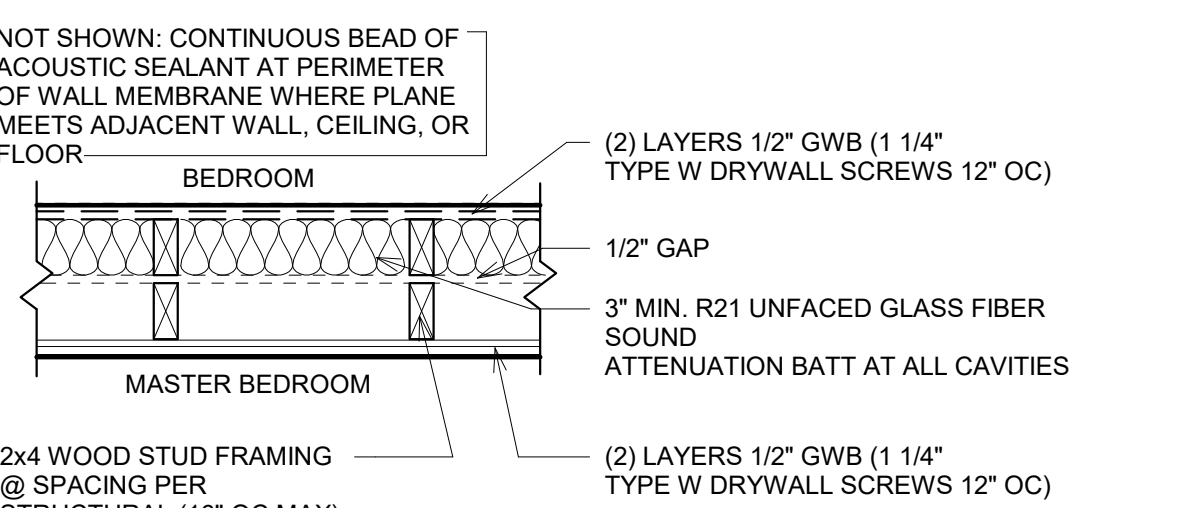
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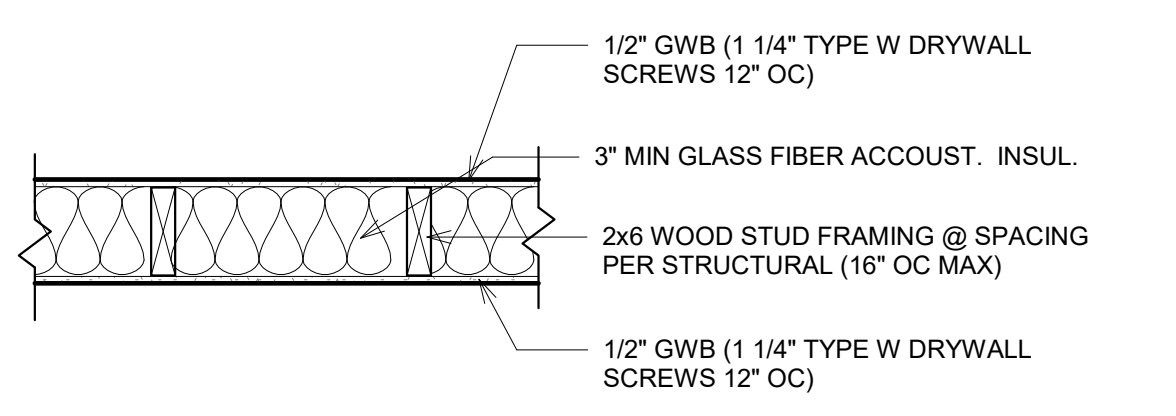
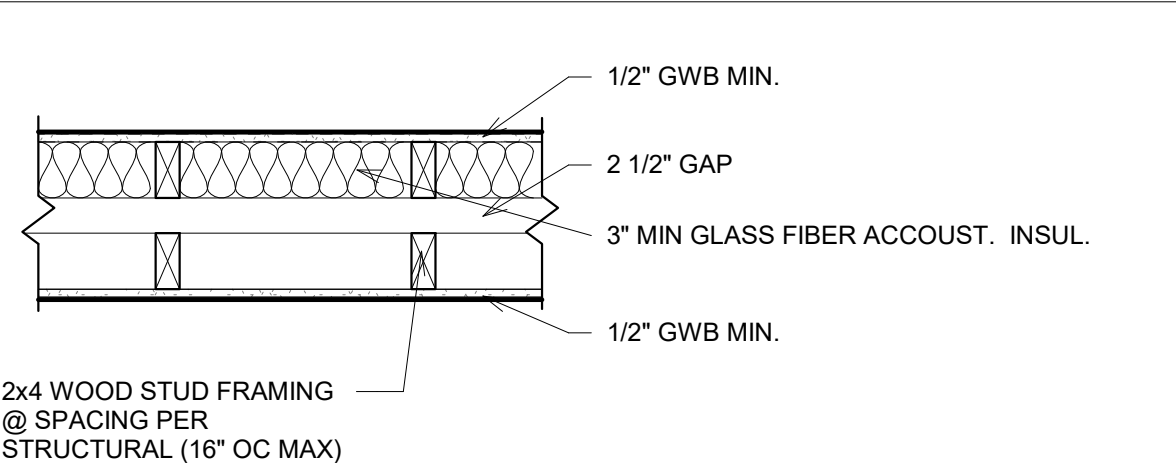
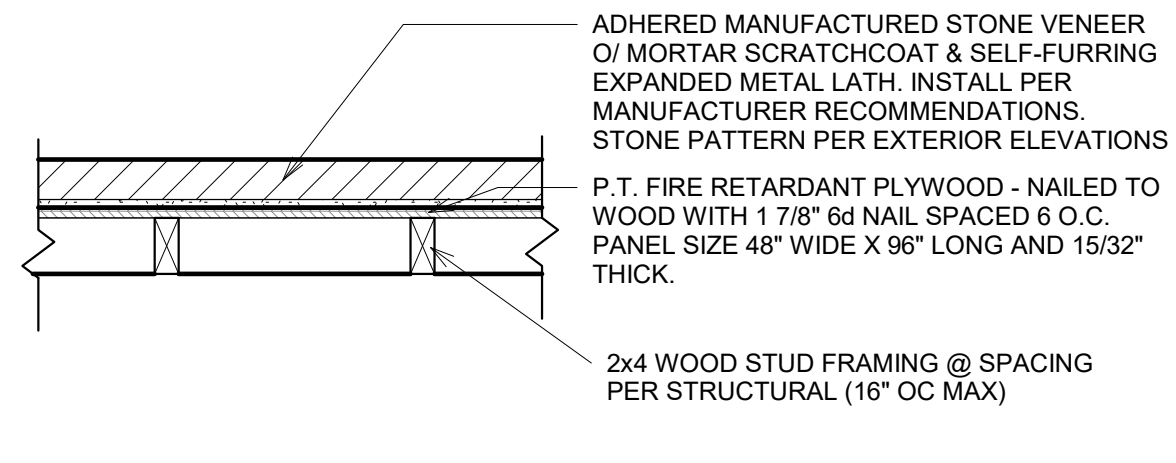
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SEE EXTERIOR ELEVATIONS FOR LOCATIONS OF INTENDED CLADDING MATERIALS

MARK	WALL ASSEMBLY COMPONENTS	FIRE RATING	SOUND RATING
W1E	<b>EXTERIOR WALL - CAST IN PLACE CONCRETE WALL</b>  <p>EXTERIOR          ABOVE GRADE          BELOW GRADE          PROVIDE FINISH TO EXPOSED CONCRETE WALL AS INDICATED ON ELEVATIONS          DRAINAGE MAT          BENTONITE BELOW GRADE WATERPROOFING          CAST IN PLACE CONCRETE WALL THICKNESS AND REINFORCING PER STRUCTURAL DRAWINGS          BASEMENT/CONDITIONED SPACE</p>		
W2E	<b>EXTERIOR WALL - NICHIIA VINTAGE WOOD</b>  <p>EXTERIOR          NICHIIA VINTAGE WOOD PANEL REPRESENTED 5/8"          USE TRACKS, CLIPS AND SPACERS PER MANUFACTURERS RECOMMENDATIONS          BUILDING PAPER OR POLYOLEFIN WEATHER BARRIER          PLYWOOD - NAILED TO WOOD WITH 1 7/8" 6d NAIL SPACED 6 O.C.          R-21 THERMAL FIBERGLASS BATT INSULATION          2x6 WOOD STUD FRAMING AT SPACING PER STRUCTURAL          4 MIL VAPOR BARRIER          1/2" GWB MIN.          INTERIOR SPACE</p>		
W3E	<b>EXTERIOR WALL - FIBER CEMENT PANEL</b>  <p>EXTERIOR          FIBER CEMENT PANEL SIDING, ALL SEAMS AND FASTENER HEADS SEALED          POLYOLEFIN WEATHER BARRIER, INSTALL PER MANUFACTURER'S REQUIREMENTS          PLYWOOD - NAILED TO WOOD WITH 1 7/8" 6d NAIL SPACED 6 O.C.          R-21 THERMAL FIBERGLASS BATT INSULATION          2x6 WOOD STUD FRAMING AND SPACING PER STRUCTURAL          4 MIL VAPOR BARRIER          1/2" GWB MIN.          INTERIOR SPACE</p>		
W4E	<b>EXTERIOR WALL - FIBER CEMENT PANEL</b>  <p>GERAGE SIDE          FIBER CEMENT PANEL SIDING(MATCH WITH W3E), ALL SEAMS AND FASTENER HEADS SEALED          POLYOLEFIN WEATHER BARRIER, INSTALL PER MANUFACTURER'S REQUIREMENTS          PLYWOOD - NAILED TO WOOD WITH 1 7/8" 6d NAIL SPACED 6 O.C.          2x6 WOOD STUD FRAMING AND SPACING PER STRUCTURAL          1/2" GWB MIN.          INTERIOR SPACE</p>		
W5E	<b>EXTERIOR WALL - STONE VENEER</b>  <p>EXTERIOR          ADHERED MANUFACTURED STONE VENEER O/ MORTAR SCRATCHCOAT &amp; SELF-FURRING EXPANDED METAL LATH, INSTALL PER MANUFACTURER RECOMMENDATIONS. STONE PATTERN PER EXTERIOR ELEVATIONS          (2) LAYERS GRADE D BUILDING PAPER OR POLYOLEFIN WEATHER BARRIER          P.T. FIRE RETARDANT PLYWOOD - NAILED TO WOOD WITH 1 7/8" 6d NAIL SPACED 6 O.C. PANEL SIZE 48" WIDE X 96" LONG AND 15/32" THICK.          R-21 THERMAL FIBERGLASS BATT INSULATION          P.T. FIRE RETARDANT 2x6 WOOD STUD FRAMING AT SPACING PER STRUCTURAL          4 MIL VAPER BARRIER          1/2" GWB MIN.          CONDITIONED SPACE</p>		
W6E	<b>INSULATED CONCRETE WALLS</b>  <p>EXTERIOR          CAST IN PLACE CONCRETE WALL, THICKNESS AND REINFORCING PER STRUCTURAL DRAWINGS          1/2" AIR GAP          2x4 WOOD STUD FRAMING SPACING PER STRUCTURAL          4 MIL VAPER BARRIER          1/2" GWB MIN.          INTERIOR</p>		

MARK	WALL ASSEMBLY COMPONENTS	FIRE RATING	SOUND RATING
W7E	<b>INSULATED CONCRETE WALLS</b>  <p>EXTERIOR          CAST IN PLACE CONCRETE WALL, THICKNESS AND REINFORCING PER STRUCTURAL DRAWINGS          1/2" AIR GAP          2x6 WOOD STUD FRAMING SPACING PER STRUCTURAL          4 MIL VAPOR BARRIER          1/2" GWB MIN.          INTERIOR</p>		
W8E	<b>EXTERIOR WALL - GARAGE INTERIOR WALL-2X6</b>  <p>GARAGE SIDE          5/8" TYPE "X" GWB          WEATHER RESISTIVE BARRIER          R-21 THERMAL FIBERGLASS BATT INSULATION          P.T. FIRE RETARDANT 2x6 WOOD STUD FRAMING AND SPACING PER STRUCTURAL          4 MIL VAPOR BARRIER          1/2" GWB MIN.          INTERIOR SPACE</p>		
W9E	<b>PARAPET WALL - FIBER CEMENT PANEL</b>  <p>FIBER CEMENT PANEL SIDING(MATCH WITH W3E), ALL SEAMS AND FASTENER HEADS SEALED          PLYWOOD - NAILED TO WOOD WITH 1 7/8" 6d NAIL SPACED 6 O.C.          2x6 WOOD STUD FRAMING AND SPACING PER STRUCTURAL          PLYWOOD - NAILED TO WOOD WITH 1 7/8" 6d NAIL SPACED 6 O.C.          FIBER CEMENT PANEL SIDING(MATCH WITH W3E), ALL SEAMS AND FASTENER HEADS SEALED</p>		
W1	<b>INTERIOR WALL - TYPICAL - 2x4</b>  <p>1/2" GWB (1 1/4" TYPE W DRYWALL SCREWS 12" OC)          3" MIN GLASS FIBER ACCOUST. INSUL.          2x4 WOOD STUD FRAMING @ SPACING PER STRUCTURAL (16" OC MAX)          1/2" GWB (1 1/4" TYPE W DRYWALL SCREWS 12" OC)</p>		
W2	<b>INTERIOR FURRING WALL - TYPICAL - 2x4</b>  <p>1/2" AIR GAP          R-21 THERMAL FIBERGLASS BATT INSULATION          2x4 WOOD STUD FRAMING SPACING PER STRUCTURAL          4 MIL VAPOR BARRIER          1/2" GWB MIN.</p>		
W3	<b>INTERIOR UNIT PARTY WALL - DBL STUD-2X4</b>  <p>NOT SHOWN: CONTINUOUS BEAD OF ACOUSTIC SEALANT AT PERIMETER OF WALL MEMBRANE WHERE PLANE MEETS ADJACENT WALL, CEILING, OR FLOOR          BEDROOM          MASTER BEDROOM          (2) LAYERS 1/2" GWB (1 1/4" TYPE W DRYWALL SCREWS 12" OC)          1/2" GAP          3" MIN. R21 UNFACED GLASS FIBER SOUND ATTENUATION BATT AT ALL CAVITIES          2x4 WOOD STUD FRAMING @ SPACING PER STRUCTURAL (16" OC MAX)          (2) LAYERS 1/2" GWB (1 1/4" TYPE W DRYWALL SCREWS 12" OC)</p>		

MARK	WALL ASSEMBLY COMPONENTS	FIRE RATING	SOUND RATING
W4	<b>INTERIOR WALL - TYPICAL - 2x6</b>  <p>1/2" GWB (1 1/4" TYPE W DRYWALL SCREWS 12" OC)          3" MIN GLASS FIBER ACCOUST. INSUL.          2x6 WOOD STUD FRAMING @ SPACING PER STRUCTURAL (16" OC MAX)          1/2" GWB (1 1/4" TYPE W DRYWALL SCREWS 12" OC)</p>		
W5	<b>INTERIOR WALL - DBL STUD-2X4</b>  <p>1/2" GWB MIN.          2 1/2" GAP          3" MIN GLASS FIBER ACCOUST. INSUL.          1/2" GWB MIN.          2x4 WOOD STUD FRAMING @ SPACING PER STRUCTURAL (16" OC MAX)</p>		
W6	<b>INTERIOR FURRING WALL - 2X4</b>  <p>ADHERED MANUFACTURED STONE VENEER O/ MORTAR SCRATCHCOAT &amp; SELF-FURRING EXPANDED METAL LATH, INSTALL PER MANUFACTURER RECOMMENDATIONS. STONE PATTERN PER EXTERIOR ELEVATIONS          P.T. FIRE RETARDANT PLYWOOD - NAILED TO WOOD WITH 1 7/8" 6d NAIL SPACED 6 O.C. PANEL SIZE 48" WIDE X 96" LONG AND 15/32" THICK.          2x4 WOOD STUD FRAMING @ SPACING PER STRUCTURAL (16" OC MAX)</p>		

NOTES:

1. ALL INSULATION SHALL HAVE MAXIMUM FLAME SPREAD INDEX OF 25 AND MAXIMUM SMOKE DEVELOPED INDEX OF 450 IN ACCORDANCE WITH 1BC 719.2.
2. PROVIDE NON-PAPER FACED, MOLD & MILDREW RESISTANT GYPSUM WALL BOARD AT ALL MOISTURE AND DAMPNSS PRONE AREAS.
3. PROVIDE TILE BACKER BOARD (NOT GREENBOARD) AT ALL TILE CONDITIONS.
4. REFER TO STRUCTURAL PLANS FOR STUD SIZE AND SPACING.
5. FIRE RATING AND SOUND TRANSMISSION COEFFICIENTS ARE BASED UPON THE ASSEMBLIES SHOWN WITHOUT INSULATION, UNLESS NOTED OTHERWISE.
6. REFER TO WALL DETAILS FOR TERMINATIONS, CONNECTIONS, PENETRATIONS AND INTERSECTIONS.
7. ACOUSTIC SEALANT SHALL CONFORM TO ASTM C919-02.
8. SEPARATE BACK TO BACK ELECTRICAL OR OTHER UTILITY BOXES BY AT LEAST ONE STUD BAY IN SINGLE STUD WALLS ANT TWO STUD BAYS IN STAGGERED STUD OR DOUBLE STUD WALL ASSEMBLIES.
9. SEAL ALL DUCT, CONDUIT OR PIPING PENETRATIONS THROUGH ACOUSTICALLY RATED CONSTRUCTION TO PREVENT DIRECT CONTACT USING RESILIENT NON-HARDENING CAULK. USE FIRE-RATED ACOUSTICAL CAULK IN FIRE-RATED CONSTRUCTION.
10. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR VIBRATION INSULATION REQUIREMENTS IN AREAS WHERE PLUMBING RUNS IN PROXIMITY TO NOISE-SENSITIVE SPACES.
11. STAGGER ALL JOINTS WHENEVER TWO OR MORE LAYERS OF GWB ARE SCHEDULED.
12. SECURE BATT INSULATION TO THE STRUCTURE AS REQUIRED TO PREVENT SAGGING OR DISPLACEMENT.
13. CONFORM STRICTLY TO TESTING AGENCY ASSEMBLY DESIGNATION REQUIREMENTS NOTED FOR ALL RATED WALL TYPES.
14. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED, SPACKLED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ALIGNED.
15. PROVIDE SOLID WOOD BLOCKING (OR) 18 GA. BACKING/BLOCKING BEHIND ALL FIXTURES AND ACCESSORIES - TYPICAL, U.O.N.
16. REFER TO SHEET XX-XX FOR WEATHER RESISTANT BARRIER SPECIFICATION AND REQUIREMENTS.


PROJECT  
PAEK RESIDENCE

ADDRESS  
2215 80TH AVE SE  
MERCER ISLAND, WA 98040

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TIMOTHY PAEK

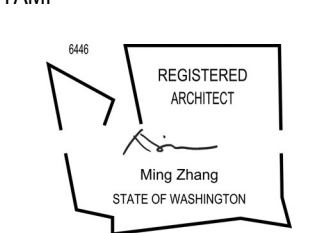
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REVISIONS		
DRAWING STATUS		

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STAMP  
  
 Ming Zhang  
 STATE OF WASHINGTON

DRAWING TITLE  
WALL TYPES

DRAWN Author  
DESIGNED Designer

DATE 08/15/18

GRAPHIC SCALE  
1" = 1'-0"

PROJECT NO.  
18-009

DRAWING NO.  
A7.1

REVISION NO.

MARK	FLOOR/CEILING ASSEMBLY COMPONENTS	FIRE RATING	SOUND RATING
F1	<p><b>SLAB ON GRADE-BASEMENT AND GARAGE FLOOR</b></p> <p>4" MIN. C.I.P. CONCRETE SLAB ON GRADE, REINFORCING &amp; THICKNESS PER STRUCT.                  2" SAND BED                  10 MIL. MINIMUM THICKNESS POLY SHEETING VAPOR/MOISTURE BARRIER                  4" THICK CRUSHED ROCK BASE                  COMPACTED SUBGRADE OR ENGINEERED BACKFILL</p> <p><b>NOTE:</b> VERIFY SLAB &amp; SUBGRADE DESIGN WITH STRUCTURAL &amp; GEOTECHNICAL RECOMMENDATIONS PRIOR TO INSTALLATION</p>		
F2	<p><b>TYPICAL FLOOR - ENTRY AND UPPER FLOOR</b></p> <p>FLOORING PER PLANS                  FLOOR SHEATHING - TYPE, THICKNESS, AND FASTENING PER STRUCTURAL                  WOOD JOIST, SIZE AND SPACING PER STRUCTURAL                  OPTIONAL R-19 SOUND ATTENUATION BATT INSULATION FOR INCREASED ACOUSTIC PERFORMANCE.                  WOOD CEILING PER PLAN</p> <p>NOT SHOWN: CONTINUOUS BEAD OF ACOUSTIC SEALANT AT PERIMETER OF WALL MEMBRANE WHERE PLANE MEETS ADJACENT WALLS</p>		
F3	<p><b>TYPICAL FLOOR - ENTRY AND UPPER FLOOR</b></p> <p>HARD WOOD FLOOR                  STUD PER STRUCTURAL                  HARD WOOD CEILING</p>		

MARK	ROOF/CEILING ASSEMBLY COMPONENTS	FIRE RATING	SOUND RATING
R1	<p><b>TYPICAL ROOF</b></p> <p>ASPHALT SHINGLES.                  ROOF FELT UNDERLAYMENT (2 LAYERS)                  ROOF SHEATHING PER STRUCTURAL                  R-30 FIBERGLASS INSULATION (BATT OR BLOWN-IN)                  JOIST PER STRUCTURAL AT 24" O.C.</p> <p>(1) LAYERS 1/2" GYPSUM W DRYWALL SCREWS 24" OC.</p> <p><b>NOTE:</b> Joints shall have L-rating measured at .30" of water in both ambient temperature and elevated temperature tests, and shall not exceed 1 &amp; 2 per IBC714.5</p>		
R2	<p><b>FLAT ROOF/DECK @ UPPER LEVEL- 2x WOOD RAFTERS</b></p> <p>THERMOPLASTIC POLYOLEFIN (TPO) ROOFING MEMBRANE O/ SLIPSHEET                  R-38 MIN. RIGID XPS OR POLYISO. INSULATION, SLOPE 1/4" / FT. TO DRAIN. WHERE MULTIPLE LAYERS ARE REQUIRED, STAGGER JOINTS                  ROOF SHEATHING PER STRUCTURAL APPLIED AT RT ANGLES TO TRUSSES W/ 8d NAILS                  R-30 FIBERGLASS INSULATION (BATT OR BLOWN-IN)                  2x ROOF JOISTS PER STRUCTURAL                  (1) LAYER 1/2" GYPSUM WALLBOARD DRYWALL SCREWS 12" OC.</p>		
R3	<p><b>FLAT ROOF @ GARAGE- 2x WOOD RAFTERS</b></p> <p>THERMOPLASTIC POLYOLEFIN (TPO) ROOFING MEMBRANE O/ SLIPSHEET                  R-38 MIN. RIGID XPS OR POLYISO. INSULATION, SLOPE 1/4" / FT. TO DRAIN. WHERE MULTIPLE LAYERS ARE REQUIRED, STAGGER JOINTS                  ROOF SHEATHING PER STRUCTURAL APPLIED AT RT ANGLES TO TRUSSES W/ 8d NAILS                  2x ROOF JOISTS PER STRUCTURAL                  (1) LAYER TYPE "X" 5/8" GWB</p>		

PROJECT  
PAEK RESIDENCE

ADDRESS  
2215 80TH AVE SE  
MERCER ISLAND, WA 98040

CLIENT  
TIMOTHY PAEK

NO.	ISSUED	DATE

REVISIONS

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STAMP

REGISTERED ARCHITECT

Ming Zhang

STATE OF WASHINGTON

DRAWING TITLE  
FLOOR & ROOF/CEILING TYPES

DRAWN Author | DESIGNED Designer

DATE 08/15/18

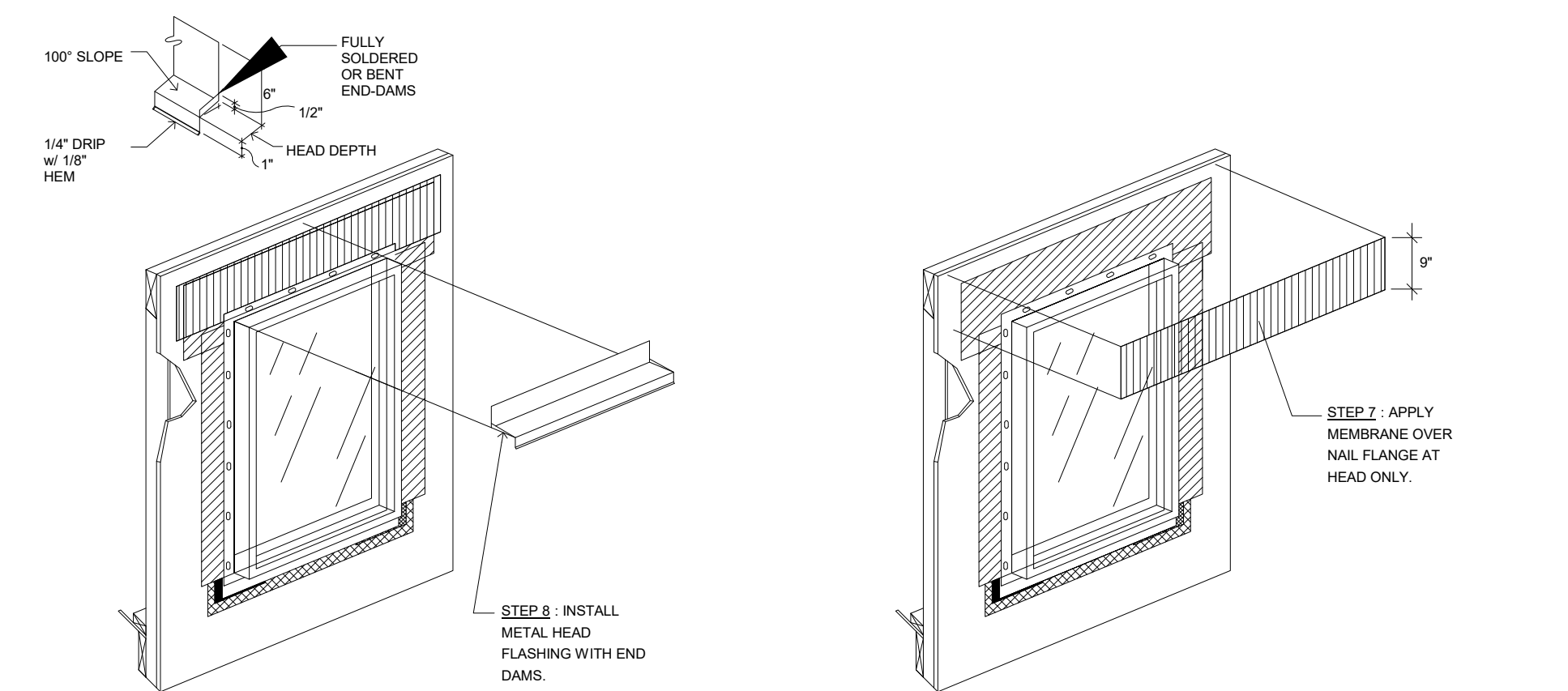
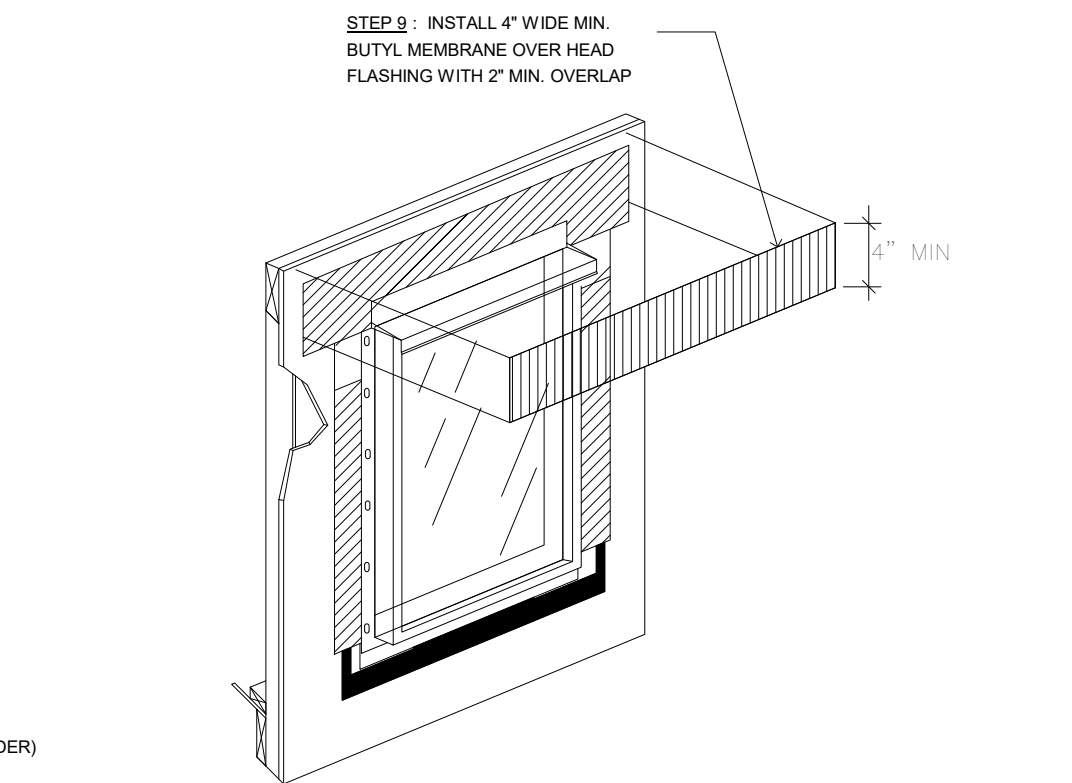
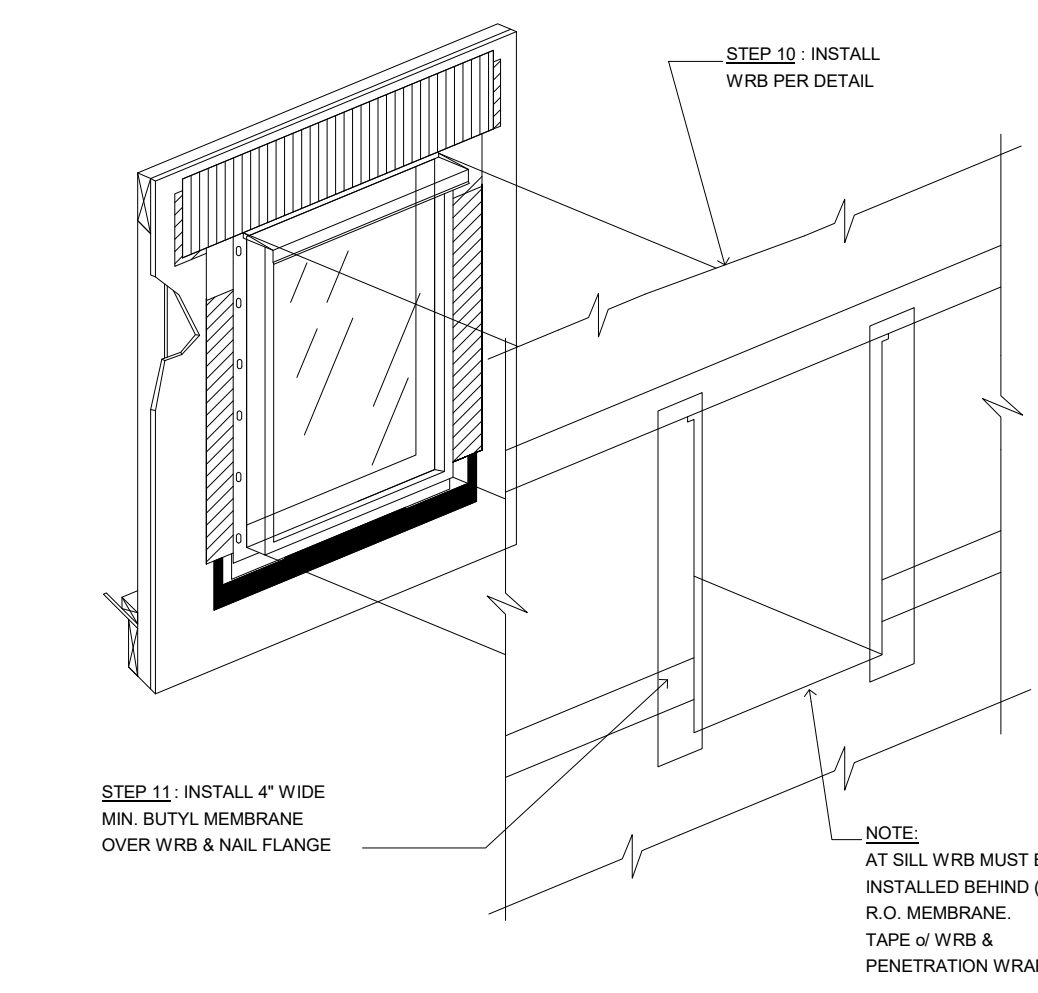
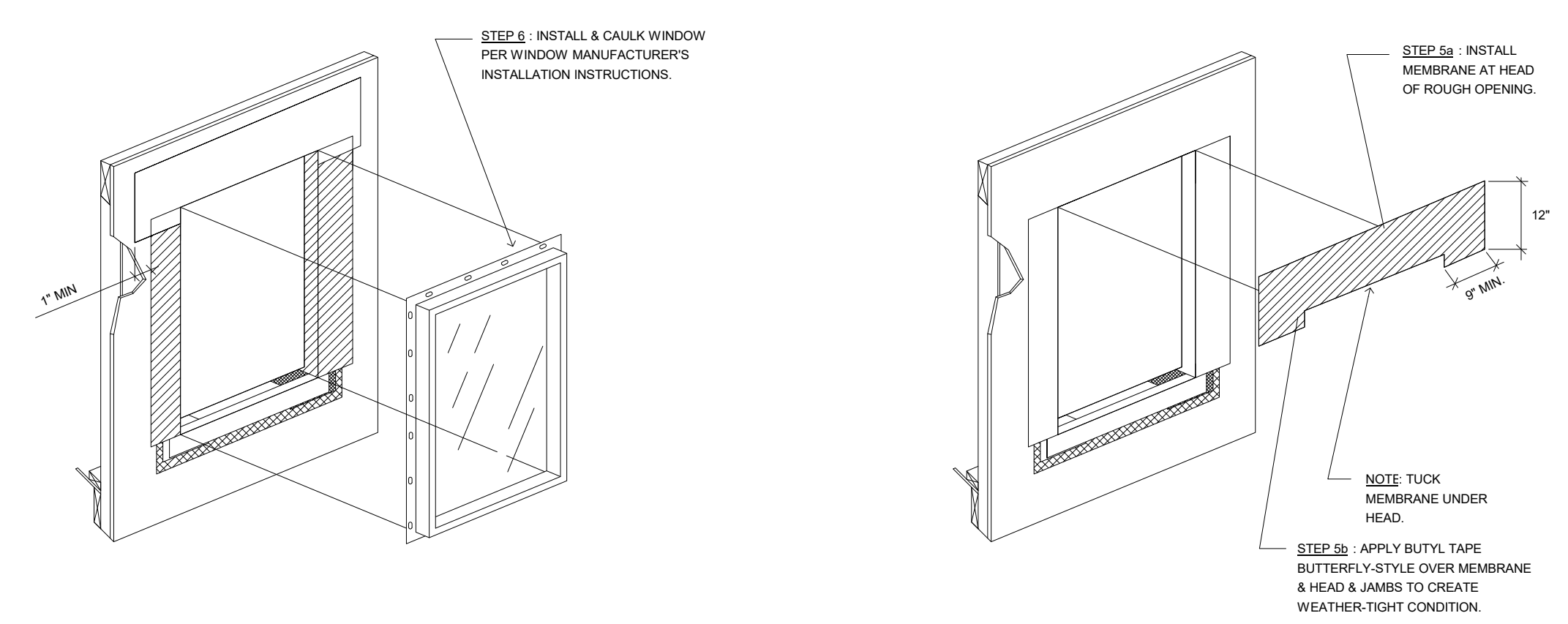
GRAPHIC SCALE 1" = 1'-0"

PROJECT NO. 18-009

DRAWING NO. A7.2 | REVISION NO.

24"x36" Arch D - SHEET SIZE

- NOTES :**
1. PLACE WINDOW ON 1/8" SHIMS TO PROVIDE DRAINAGE GAP BETWEEN WINDOW FRAME AND SILL PAN.
  2. ATTACH WINDOW PER MANUFACTURER'S RECOMMENDATIONS AT SILL AND JAMBS.
  3. APPLY APPROVED SEALANT BEHIND NAIL FLANGES AT HEAD AND JAMBS.



- SILL PAN NOTES:**
1. ALL PANS AT MASONRY TO BE STAINLESS STEEL OR 24 GA GALV. PRE-FINISHED.
  2. RESIDENTIAL WINDOW WALL SYSTEMS TO HAVE ALUMINUM PANS & FLASHINGS PER DETAILS TO MATCH WINDOW FRAME COLORS.
  3. SEAL OR SOLDER JOINTS AT END- & BACK DAMS TO FORM A WATERTIGHT PAN ASSEMBLY. SEAL BACK TO END DAM TRANSITIONS.
  4. COORDINATE BACK DAM HEIGHT WITH THRESHOLD AND/OR INTERIOR FINISHES PER ARCH. PLANS.
  5. PROVIDE HEMMED EDGE AT ALL EXPOSED EDGES.
- WRAP & WRB NOTE:**
1. FASTEN WINDOW/DOOR WRAP & WRB PER WP DETAILS PROVIDED HEREIN WITH STAINLESS STEEL STAPLES w/ 7/16\"/>



**B** SILL PAN AT SLIDING GLASS DOOR

**A** SILL PAN AT WINDOW

**NOTES**

1. BUILDING ENVELOPE/WRB BASIS OF DESIGN:
  - A. "WRB": VAPRO-SHIELD / REVEAL-SHIELD SA' SELF-ADHERED MEMBRANE INCLUDING APPROPRIATE ACCESSORIES
  - B. SILL FLASHING: AS APPROVED BY WRB MANUFACTURER INCLUDING APPROPRIATE ACCESSORIES
  - C. MUDSILL GASKET: EPDM STRUCTURAL GASKET BY CONSERVATION TECHNOLOGIES
  - D. LIQUID FLASHING: VAPRO-SHIELD 'VAPROLIQU-FLASH'
  - E. HEAD FLASHING BED: AS APPROVED BY WRB MANUFACTURER AND PER NOTE 13 BELOW
  - F. FASTENERS & SEAMS: AS APPROVED BY WRB MANUFACTURER AND PER NOTE 13 BELOW
  - G. SEALANT: AS APPROVED BY WRB MANUFACTURER AND PER NOTE 13 BELOW
2. CONTRACTOR SHALL PERFORM ALL WORK WITHIN THIS SCOPE IN ACCORDANCE AND COMPLIANCE WITH ALL RELEVANT CITY, COUNTY, STATE AND/OR FEDERAL ORDINANCES, LAWS, REGULATIONS AND CODES. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS ESTABLISHED BY THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC) WITH APPROPRIATE STATE AND LOCAL JURISDICTION AMENDMENTS.
3. CONTRACTOR SHALL MAINTAIN THE JOBSITE IN A CLEAN AND WORKMANLIKE CONDITION. ANY DEBRIS GENERATED DURING CONSTRUCTION SHALL BE REMOVED FROM THE JOBSITE CONTINUALLY. THE JOBSITE SHALL BE LEFT IN A CLEAN AND NEAT CONDITION AT THE END OF EACH WORKDAY. DEBRIS REMOVAL FROM THE JOBSITE SHALL BE ONGOING. CONTRACTOR SHALL DISPOSE ALL MATERIALS AND DEBRIS IN A LEGAL MANNER. ALL PEDESTRIAN AND VEHICULAR ACCESS-WAYS SHALL BE MAINTAINED IN A CLEAN CONDITION THROUGHOUT THE PROJECT.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL FOLLOW SPECIFIED WATERPROOFING SYSTEMS AND INCORPORATION THEREOF. CONTRACTOR SHALL VERIFY THE MATERIAL COMPATIBILITY OF ALL WATERPROOFING COMPONENTS, SUCH AS SEALANTS, CLOSED-CELL BACKER ROD, SELF-ADHERING MEMBRANE, ETC., UTILIZED IN CONJUNCTION WITH OTHER WATERPROOFING OR BUILDING SYSTEM COMPONENTS. SHOULD THE CONTRACTOR DECIDE TO REQUEST MATERIAL SUBSTITUTION FROM THOSE SPECIFIED BY THE ARCHITECT.
6. PRIOR TO PURCHASING AND INSTALLATION, THE CONTRACTOR SHALL PROVIDE THE ARCHITECT FOR THEIR APPROVAL, SHOP DRAWINGS AND SPECS FOR ALL METAL FLASHING AND COUNTER-FLASHINGS IN ORDER TO DEMONSTRATE THEIR UNDERSTANDING OF THE DETAILS.
7. CONTRACTOR IS SOLELY RESPONSIBLE FOR QUALITY CONTROL AND ASSURANCE OF THE WORK PERFORMED BY THE CONTRACTOR, ITS AGENTS, EMPLOYEES OR ANY SUBCONTRACTOR EMPLOYED OR OTHERWISE RETAINED BY THE CONTRACTOR. CONTRACTOR IS FURTHER RESPONSIBLE FOR PROPER INTEGRATION OF BUILDING COMPONENTS TO PROVIDE A WEATHER-RESISTIVE BUILDING SYSTEM AS INTENDED BY THE DETAILS PROVIDED BY ARCHITECT.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF WORK AND SHALL CARRY OUT ALL WORK IN COMPLIANCE WITH THE BEST INDUSTRY STANDARDS AND IN COMPLIANCE WITH PUBLISHED MANUFACTURER'S INSTALLATION INSTRUCTIONS AND STANDARDS REFERENCED IN THE SPECIFICATIONS.
9. MOCKUP(S) OF ALL BUILDING ENVELOPE COMPONENTS SUCH AS WINDOWS, DOORS, WRB, CLADDING AND PENETRATION INSTALLATION MUST BE CARRIED OUT PRIOR TO COMMENCEMENT OF EXTERIOR ENVELOPE WORK.
10. DETAILS MAY NOT BE MODIFIED, REVISED OR ELIMINATED BY THE CONTRACTOR WITHOUT PRIOR WRITTEN CONSENT
11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AND SCHEDULE FOR INSPECTION AND APPROVAL OF THE WORK PERFORMED WITH RESPECT TO EACH OF THE WATERPROOFING COMPONENTS.
12. UNLESS OTHERWISE NOTED, ALL EXPOSED METAL FLASHINGS AND COUNTER-FLASHINGS SHALL BE MADE OF MINIMUM 24 GA PRE-FINISH SHEET METAL. METAL FLASHING SHALL CONFORM TO SMACNA, NRCA, BUILDING CODE AND OTHER RELEVANT CODES AND INDUSTRY STANDARDS. THE VERTICAL LEGS OF SAID FLASHINGS SHALL BE MINIMUM 6 INCHES LONG. THE JOINTS OF PRE-FINISH METAL FLASHINGS SHALL BE BENT IN PLACE SUCH AS TO PREVENT MOISTURE MIGRATION PAST THE END DAMS. ALL CONCEALED METAL FLASHING AND COUNTER-FLASHING PIECES SHALL BE 24 GA G-90 GALVANIZED SHEET METAL OR SCHEDULE 307 STAINLESS STEEL. JOINTS OF ALL FLASHING PIECES OTHER THAN PRE-FINISH METAL MUST BE WELDED OR SOLDERED. ALL METAL FLASHING SYSTEMS SHALL BE MANUFACTURED & INSTALLED IN ACCORDANCE WITH THE ARCHITECTURAL SHEET METAL MANUAL PUBLISHED BY SMACNA. UNLESS OTHERWISE NOTED, ALL METAL HEAD FLASHINGS SHALL HAVE A MINIMUM 1/2"-TALL END-DAMS. UNLESS OTHERWISE NOTED, ALL SILL PAN FLASHINGS SHALL HAVE END- AND BACK-DAMS. UNLESS OTHERWISE NOTED ALL FLASHINGS AND COUNTER FLASHINGS (METAL AND OTHERWISE) SHALL BE SET IN A CONTINUOUS BEAD OF NON SKINNING BUTYL SEALANT OR APPROVED EQUAL.
13. UNLESS OTHERWISE NOTED, ENGINEERED SEALANT JOINTS SHALL BE 1/2-INCH MINIMUM WIDE BY 1/4-INCH MINIMUM DEEP IN AN ATTEMPT TO MAINTAIN A 2:1 RATIO. SEALANTS SHALL BE ONE-PART SILICONE SEALANT & SINGLE-PART POLYURETHANE FOR SURFACE APPLICATION AND NON-SKINNING BUTYL FOR INSTALLATION BETWEEN CONCEALED MATERIAL INTERFACES. ACCEPTABLE SEALANTS INCLUDE BUT ARE NOT LIMITED TO DOW CORNING 790 AND 795 SILICONE BUILDING SEALANT, SIKAFLEX 15 LM, AND SONOLASTIC 150 VLM.
14. WINDOW AND DOOR UNITS INSTALLED WITHIN THE EXTERIOR WALL SYSTEM MAY NEED TO BE FURRED OUT TO ALLOW FOR PROPER DRAINAGE. IF THIS IS THE CASE, THE FURRING MATERIAL SHALL BE PVC BATTENS OR PRESSURE-TREATED SOLID BLOCKING.
15. THE ROUGH OPENING FOR WINDOWS MUST BE 1/2" WIDER AND 1/2"+ TALLER THAN THE WIDTH & HEIGHT OF THE WINDOW UNIT AS THE SILL PAN WILL LIFT THE WINDOW UNITS BY APPROXIMATELY 1/8"-1/4" OFF THE SILL. REFER TO WINDOW MFR'S INSTALLATION MANUAL FOR ADDITIONAL ROUGH OPENING REQUIREMENTS.
16. UNLESS OTHERWISE NOTED ON THE PLANS, ALL WOOD BLOCKING SHALL BE PRESSURE-TREATED LUMBER. IF SUCH MATERIAL IS CUT ON-SITE, CUT ENDS MUST BE TREATED WITH STANDARD WOOD PRIMERS IMMEDIATELY.
17. FURRING BATTENS SHALL BE 3/4" BY 1-7/8" PVC VAPROBATTEN (WITH APPROPRIATE ACCESSORIES) MANUFACTURED BY VAPROSHIELD LLC. FURRING BATTENS SHALL ONLY BE INSTALLED VERTICALLY. FURRING BATTENS MUST BE INSTALLED DIRECTLY OVER STUDS SPACED NO MORE THAN 16" o.c. FURRING BATTENS MUST BE SECURELY ATTACHED TO THE STUDS USING APPROVED FASTENERS. ENSURE THAT THE FASTENERS FOR SIDING INSTALLATION ARE LONG ENOUGH TO PENETRATE THROUGH THE FURRING BATTENS, SHEATHING(S) AND INTO STUDS A MINIMUM OF 1/2". WHERE DISSIMILAR MATERIALS ABUT, INSTALL FURRING BATTENS DIRECTLY BEHIND MATERIAL TRANSITIONS.
18. AT RAINSCREEN SYSTEMS INSECT SCREENS SHALL BE PROVIDED AT TOP & BOTTOM OF THE WALLS AS WELL AS TOP & BOTTOM ANY AND ALL WALL PENETRATIONS. IT SHALL BE EITHER 3/4" MIN VAPROVENT STRIP / VAPROVENT HOOK STRIP OR METAL BUG SCREEN. THE SCREEN / STRIP MUST BE INSTALLED CONTINUOUSLY.
19. WINDOW AND DOOR PENETRATION WRAPS SHALL CONSIST OF VAPROSHIELD-WRAPSHIELD MANUFACTURED BY VAPROSHIELD LLC. INSTALL PENETRATION WRAPS PER MANUFACTURER'S RECOMMENDATIONS AS WELL AS THE WATERPROOFING DETAILS. USE FACTORY PRE-FORMED CORNERS. USE APPROPRIATE PRIMER FOR APPLICATIONS AT EXTERIOR SHEATHING OR WHERE THE SURFACE TEMPERATURE IS BELOW 40-DEGREE FAHRENHEIT PURSUANT TO THE MANUFACTURER'S INSTRUCTIONS.
20. UNLESS OTHERWISE NOTED, SELF-ADHERING MEMBRANE (S.A.M.) SHALL BE MINIMUM OF 9" WIDE WRAPSHIELD S.A.M. MANUFACTURED BY VAPROSHIELD LLC, OR THERMFLASH. USE APPROPRIATE PRIMER FOR APPLICATIONS AT EXTERIOR SHEATHING OR WHERE THE SURFACE TEMPERATURE IS BELOW 40-DEGREE FAHRENHEIT PER MANUFACTURER'S RECOMMENDATIONS.
21. WHERE THROUGH WALL PENETRATIONS OCCUR (e.g., HOSE BIBS, PIPES, ELECTRICAL BOXES, LIGHT FIXTURES, ETC.) INSTALL 24 ML THERM FLASH PENETRATION WRAP & BUTYL TAPE AS WELL AS WRB APRONS PER WATERPROOFING DETAILS.
22. THE BUILDING ENVELOPE SYSTEM SHALL BE A CONTINUOUS AIR-BARRIER SYSTEM IN ACCORDANCE WITH 2012 WASHINGTON ENERGY CODE PROVISIONS.
23. AT CONCRETE CONSTRUCTION & COLD-JOINTS APPLY APPROVED DOUBLE LOCKING HYDROPHOBIC WATERSTOP CAPABLE OF 2-TIMES EXPANSION BY VOLUME. BASIS OF DESIGN IS ULTRASEAL P-201 BY ADEKA. CONCRETE SHALL BE CLEANED, TOOLED AND PRIMED BEFORE INSTALLING WATERSTOP MEDIUM.
24. ALL FASTENERS SHALL BE EITHER STAINLESS STEEL, OR DOUBLE-DIPPED, HOT-DIPPED OR HEAVY-DIPPED GALVANIZED CONFORMING TO ASTM A153. ELECTRO-GALVANIZED FASTENERS MUST NOT BE USED UNDER ANY CIRCUMSTANCES.
25. UNDER SLAB VAPOR BARRIER AT SLAB ON GRADE AREAS SHALL BE CLASS B, 15mil GEOMEMBRANE CONFORMING TO ASTM E-1745. BASIS OF DESIGN IS STEGO WRAP 15mil WITH STEGO TAPE, MANUFACTURED BY STEGO INDUSTRIES.
26. MAINTAIN A MINIMUM OF 6" SEPARATION BETWEEN FINISH GRADE AND FRAMING AND SIDING MATERIALS.
27. SLOPE ALL WEATHER-DECKS, WALKS AND PATIOS AWAY FROM THE BUILDING WITH A MINIMUM SLOPE OF 1/4" PER FOOT. INSTALL CRICKETS ON WEATHER-DECK SURFACES, WHERE NEEDED, TO ALLOW FOR PROPER SLOPE AND DRAINAGE. AT A MINIMUM 1/4" PER 1' SLOPE (U.O.N.) MUST BE PROVIDED TOWARD ROOF DRAINS & SCUPPERS.
28. WHOLE BUILDING AIR-LEAKAGE TESTING VIA BLOWER DOOR TEST SHALL BE PERFORMED IN ACCORDANCE WITH THE 2012 WSEC. REFER TO "AIR BARRIER GENERAL NOTES" AND "ENERGY CODE NOTES" FOR ADDITIONAL INFORMATION AND REQUIREMENTS. THE OWNER SHALL ENGAGE A TESTING AGENCY TO PERFORM THE REQUIRED TESTING IN ACCORDANCE WITH 2012 WSEC. TESTING SHALL BE IN COMPLIANCE WITH ASTM E-779 OR SIMILAR APPROVED TEST METHOD.
29. ANY DISCREPANCY NOTED BY THE CONTRACTOR MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. WHERE DISCREPANCY OCCURS BETWEEN VARIOUS CONTRACT DOCUMENTS, CONTRACTOR SHALL FOLLOW THE MOST STRINGENT REQUIREMENT FOR EACH CATEGORY.
30. CONTRACTOR SHALL SUPPLY AND INSTALL FLASHINGS AND COUNTER-FLASHINGS AT ALL TRANSITIONS AND JUNCTIONS PURSUANT TO THE REQUIREMENTS OF THE BUILDING CODE, INDUSTRY STANDARDS INCLUDING SMACNA, EVEN IF SUCH FLASHING IS NOT SPECIFICALLY CALLED OUT FOR IN A DETAIL PROVIDED FOR HEREIN.

PROJECT <b>PAEK RESIDENCE</b>		
ADDRESS <b>2215 80TH AVE SE MERCER ISLAND, WA 98040</b>		
CLIENT <b>TIMOTHY PAEK</b>		
NO.	ISSUED	DATE
REVISIONS		
DRAWING STATUS		

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.



600 108th Ave NE  
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**STAMP**

DRAWING TITLE  
**BUILDING ENVELOPE DETAILS**

DRAWN Author  
DESIGNED Designer

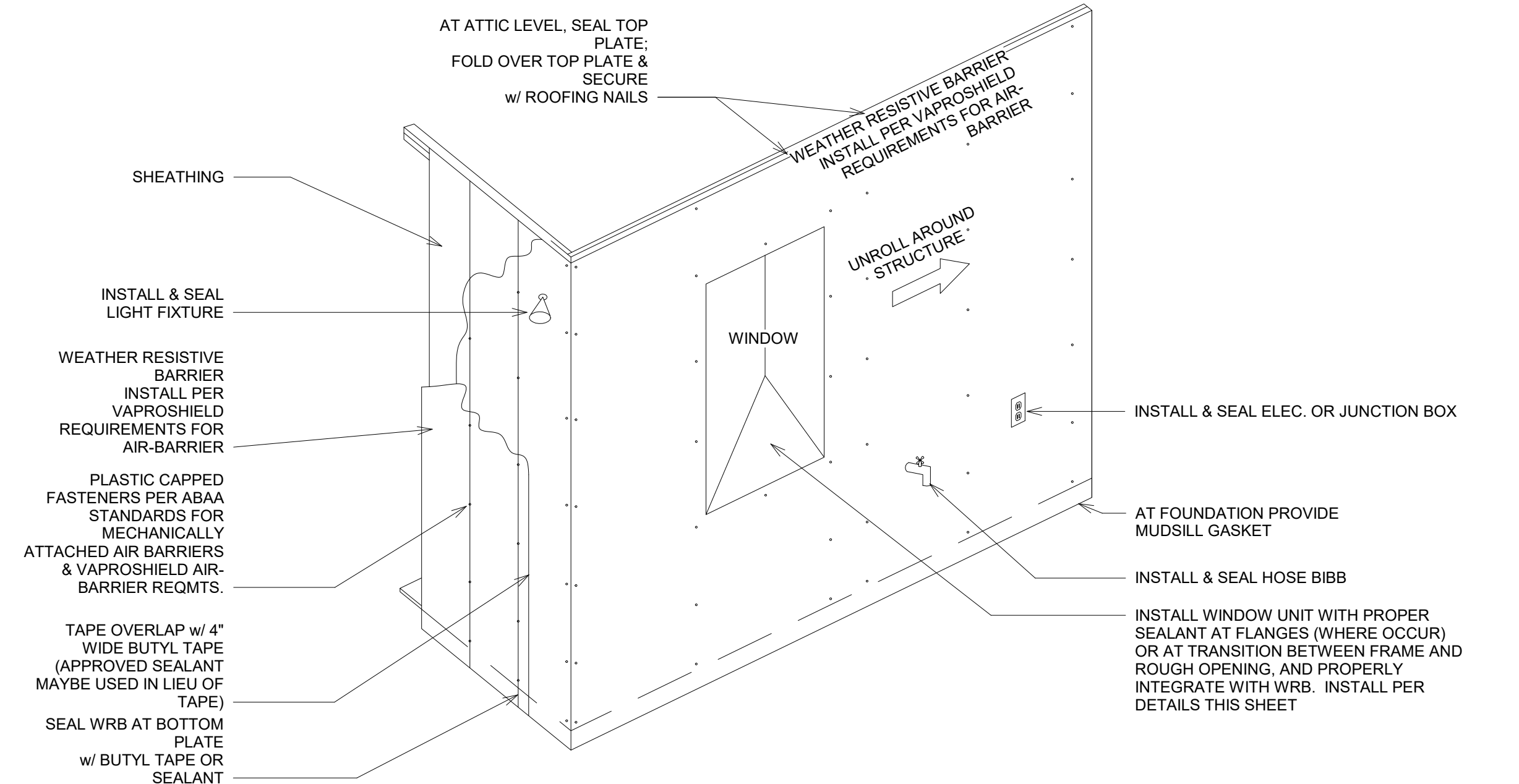
DATE **08/16/18**

GRAPHIC SCALE F As indicated

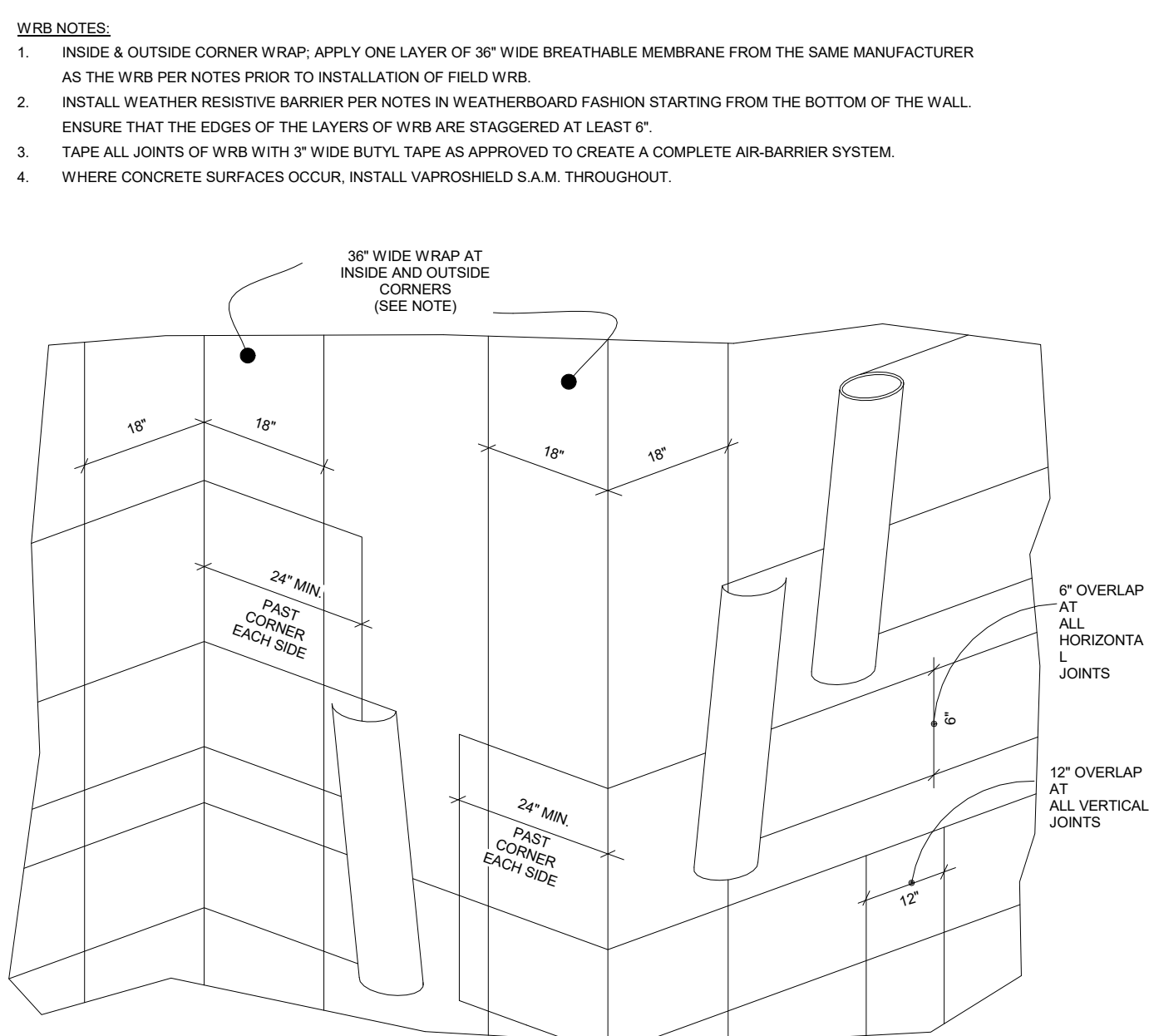
PROJECT NO.  
**18-009**

DRAWING NO.  
**A8.0**

**PERMIT- WINDOW-WRAP**  
1" = 1'-0"



**PERMIT-WRB**  
Scale: 1 1/2" = 1'-0"



FILE NAME:  
PLOT DATE:







DRAWN: SJB  
DESIGN: JRC  
CHECKED: RJA  
APPROVED: ABB

REVISIONS:

DPD:

PROJECT TITLE:

Paek Residence  
2215 80th Ave SE  
Mercer Island, WA 98040

ARCHITECT:

MZA Architecture  
600 108th Ave NE, Suite 108  
Bellevue, WA 98004  
PH 425.559.7888

ISSUE:

Permit

SHEET TITLE:

Basement  
Foundation  
Plan

SCALE:

1/4" = 1'-0" U.N.O.

DATE:

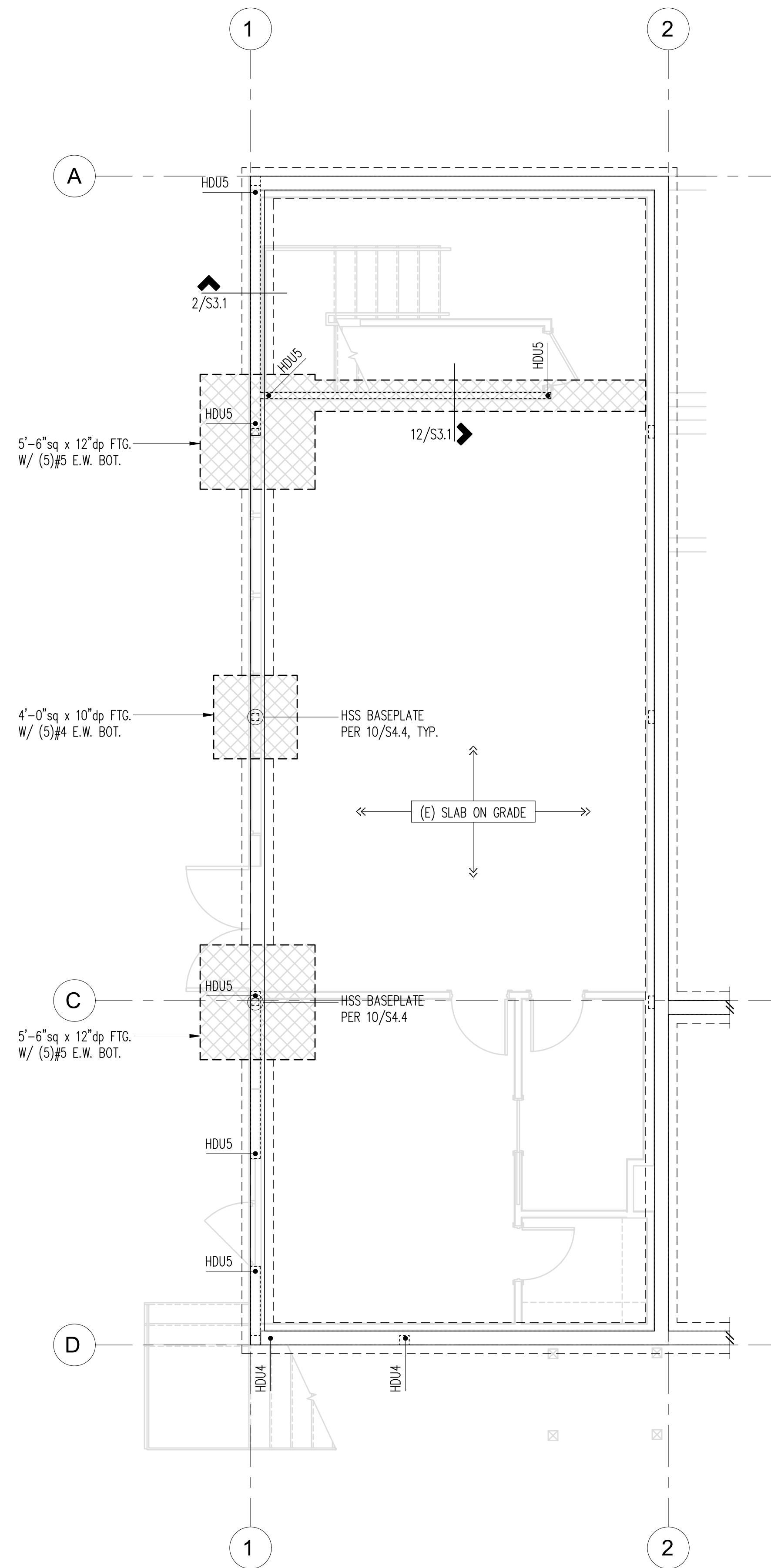
Sept. 4, 2018

PROJECT NO:

10604-2018-01-00

SHEET NO:

S2.1



**Legend**

- EXISTING FOOTING BELOW
- NEW FOOTING BELOW
- STRUCTURAL WALL OR POST ABOVE
- HOLDOWN PER 4/S3.1

**Plan Notes**

1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
2. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
3. PROVIDE CORNER BARS PER DETAIL 1/S3.1 AT ALL WALL AND FOOTING INTERSECTIONS.
4. PROVIDE EPOXY GROUTED #4 x 2'-4" DOWELS EMBEDDED A MINIMUM OF 4" INTO EXISTING CONCRETE TO MATCH NEW HORIZONTAL REINFORCING. TYPICAL WHERE NEW CONCRETE WALL OR FOOTING TERMINATES AT EXISTING CONCRETE. EPOXY GROUT PER GENERAL STRUCTURAL NOTES.
5. ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
6. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

**Basement Foundation Plan**

Scale: 1/4" = 1'-0"





DRAWN: SJB  
DESIGN: JRC  
CHECKED: RJA  
APPROVED: ABB

REVISIONS:

DPD:

PROJECT TITLE:

**Paek Residence**  
2215 80th Ave SE  
Mercer Island, WA 98040

ARCHITECT:  
**MZA Architecture**  
600 108th Ave NE, Suite 108  
Bellevue, WA 98004  
PH 425.559.7888

ISSUE:

**Permit**

SHEET TITLE:

**Main Floor Framing &  
Crawl Space Foundation  
Plan**

SCALE:

1/4" = 1'-0" U.N.O.

DATE:

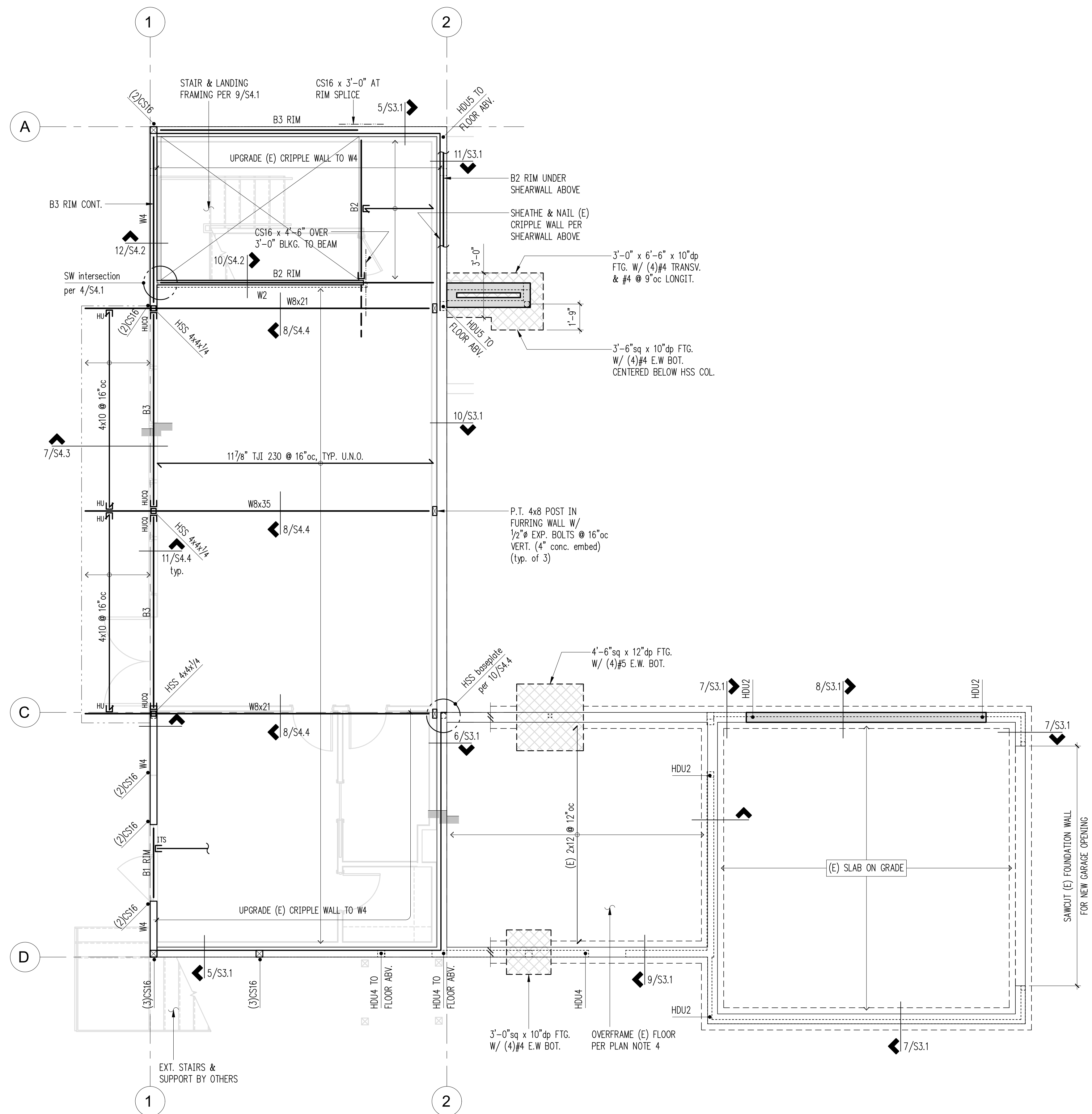
Sept. 4, 2018

PROJECT NO:

10604-2018-01-00

SHEET NO:

**S2.2**



**Beam Schedule**

MARK	BEAM	BRG. STUDS	HANGER
B1	LSL 1 3/4x11 7/8	2	HU11
B2	LSL 3 1/2x11 7/8	3	HHUS410
B3	PSL 5 1/2x11 7/8	4	HHUS5.50/10

**Legend**

- STRUCTURAL WALL BELOW
- NON-STRUCTURAL WALL BELOW
- STRUCTURAL WALL OR POST ABOVE
- Wx SHEARWALL PER 12/S4.1
- SPAN DIRECTION
- EXTENT OF JOISTS
- HEADER/BEAM PER PLAN
- HANGER
- CHANGE IN SHEATHING ELEVATION
- HDU HOLDDOWN PER 4/S3.1
- (X)CS16 HOLDDOWN STRAP PER 5/S4.1
- EXISTING FOOTING BELOW
- NEW FOOTING BELOW
- NEW STEM WALL BELOW

**Plan Notes**

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
- NEW FLOOR AND ACCESSIBLE DECK SHEATHING SHALL BE 3/4" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). NAIL AT ALL FRAMED PANEL EDGES WITH 8D AT 6" O.C. AND TO ALL INTERMEDIATE FRAMING (FIELD) AT 12" O.C.
- NEW FLOOR JOISTS SHALL BE 11-7/8" TJI 230 @ 16" oc. OVER-FRAME EXISTING 2x12 JOISTS WITH 5/8" PLYWOOD TO MATCH NEW AND EXISTING FLOOR LEVELS.
- HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE FRAMED WITH FLUSH LSL 1-3/4 X 11-7/8 RIM. DO NOT SPLICE RIM OVER OPENING. HANG JOISTS FROM RIM OVER OPENINGS WITH ITS SERIES HANGERS. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL RIMS UNLESS NOTED OTHERWISE ON PLANS.
- PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
- W# INDICATES SHEAR WALL. SEE SHEARWALL SCHEDULE, 12/S4.1, FOR CONSTRUCTION REQUIREMENTS. ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE ON PLANS.
- (X)CS16 INDICATES VERTICAL HOLD-DOWN STRAP AT END OF SHEAR WALL ABOVE. (X) INDICATES STRAP QUANTITY. SEE DETAIL 5/S4.1 FOR INSTALLATION REQUIREMENTS.
- HDUx INDICATES VERTICAL HOLD-DOWN FROM POST ABOVE WITH A36 ALL-THREAD EPOXY GROUTED PER ANCHOR BOLT DIAMETER AND EMBED DEPTH IN HOLDDOWN SCHEDULE.
- MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS VERTICAL GRAIN BLOCKING TO MATCH POST ABOVE FOR FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- SPLICE ALL TOP PLATE SPLICES PER DETAIL 10/S4.1.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

**Main Floor Framing/Crawl Space Foundation Plan**

Scale: 1/4" = 1'-0"





DRAWN: SJB  
 DESIGN: JRC  
 CHECKED: RJA  
 APPROVED: ABB

REVISIONS:

DPD:

PROJECT TITLE:

**Paek Residence**  
 2215 80th Ave SE  
 Mercer Island, WA 98040

ARCHITECT:  
**MZA Architecture**  
 600 108th Ave NE, Suite 108  
 Bellevue, WA 98004  
 PH 425.559.7888

ISSUE:

**Permit**

SHEET TITLE:

**Upper Floor Framing Plan**

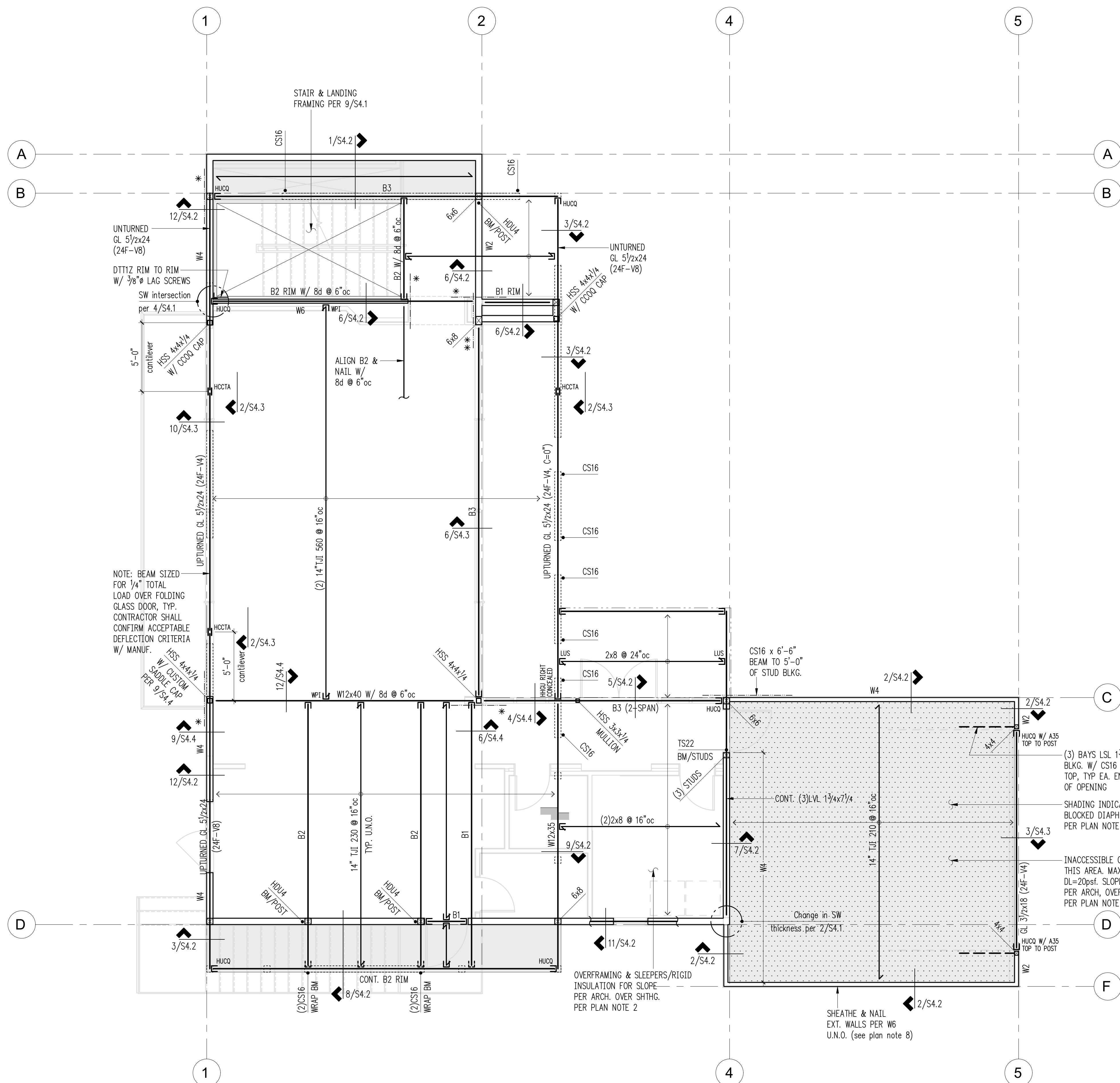
SCALE: 1/4" = 1'-0" U.N.O.

DATE: Sept. 4, 2018

PROJECT NO: 10604-2018-01-00

SHEET NO:

**S2.3**



**Beam Schedule**

MARK	BEAM	BRG. STUDS	HANGER
B1	LSL 1 3/4x14	2	HU14
B2	LSL 3/2x14	3	HHUS410
B3	PSL 5/2x14	4	HHUS5.50/10

- Legend**
- STRUCTURAL WALL BELOW
  - NON-STRUCTURAL WALL BELOW
  - STRUCTURAL WALL OR POST ABOVE
  - SHEARWALL PER 12/S4.1
  - SPAN DIRECTION
  - EXTENT OF JOISTS
  - HEADER/BEAM PER PLAN
  - HANGER (INVERTED)
  - CHANGE IN ELEVATION
  - HOLDOWN PER 5/S4.1
  - CS16 x 4'-0" FRAMING MEMBER TO NO. OF ASTERISKS = NO. OF STUDS

- Plan Notes**
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
  - FLOOR AND ACCESSIBLE ROOF DECK SHEATHING SHALL BE 3/4" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). NAIL AT ALL FRAMED PANEL EDGES WITH 8d AT 6"oc AND TO ALL INTERMEDIATE FRAMING (FIELD) AT 12"oc.
  - GREEN ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8d AT 6"oc AND TO ALL INTERMEDIATE FRAMING AT 12"oc.
  - AREAS SHADED ON PLAN INDICATED BLOCKED FLOOR DIAPHRAGM. PROVIDE 2x4 FLAT BLOCKING AT ALL UNFRAMED PANEL EDGES. NAIL ALL PANEL EDGES TO FLAT BLOCKING, FRAMING MEMBERS OR BOUNDARY MEMBERS (RIMS, DRAG STRUTS) WITH 8d AT 4"oc AND TO ALL INTERMEDIATE FRAMING (FIELD) AT 12"oc.
  - FLOOR JOISTS SHALL BE 14" TJI 230 @ 16"oc.
  - HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE FRAMED WITH FLUSH LSL 1-3/4 X 11-7/8 RIM, MINIMUM. DO NOT SPLICE RIM OVER OPENING. HANG JOISTS FROM RIM OVER OPENINGS WITH ITS SERIES HANGERS. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL RIMS UNLESS NOTED OTHERWISE ON PLANS.
  - PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
  - W# INDICATES SHEAR WALL. SEE SHEARWALL SCHEDULE, 12/S4.1, FOR CONSTRUCTION REQUIREMENTS. ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE ON PLANS.
  - (X)CS16 INDICATES VERTICAL HOLDOWN STRAP AT END OF SHEAR WALL ABOVE. (X) INDICATES STRAP QUANTITY. SEE DETAIL 5/S4.1 FOR INSTALLATION REQUIREMENTS.
  - MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
  - ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS VERTICAL GRAIN BLOCKING TO MATCH POST ABOVE FOR FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
  - SPLICE ALL TOP PLATE SPLICES PER DETAIL 10/S4.1.
  - REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.





DRAWN: SJB  
 DESIGN: JRC  
 CHECKED: RJA  
 APPROVED: ABB

REVISIONS:

DPD:

PROJECT TITLE:

Paek Residence  
 2215 80th Ave SE  
 Mercer Island, WA 98040

ARCHITECT:  
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 PH 425.559.7888

ISSUE:

Permit

SHEET TITLE:

Roof Framing Plan

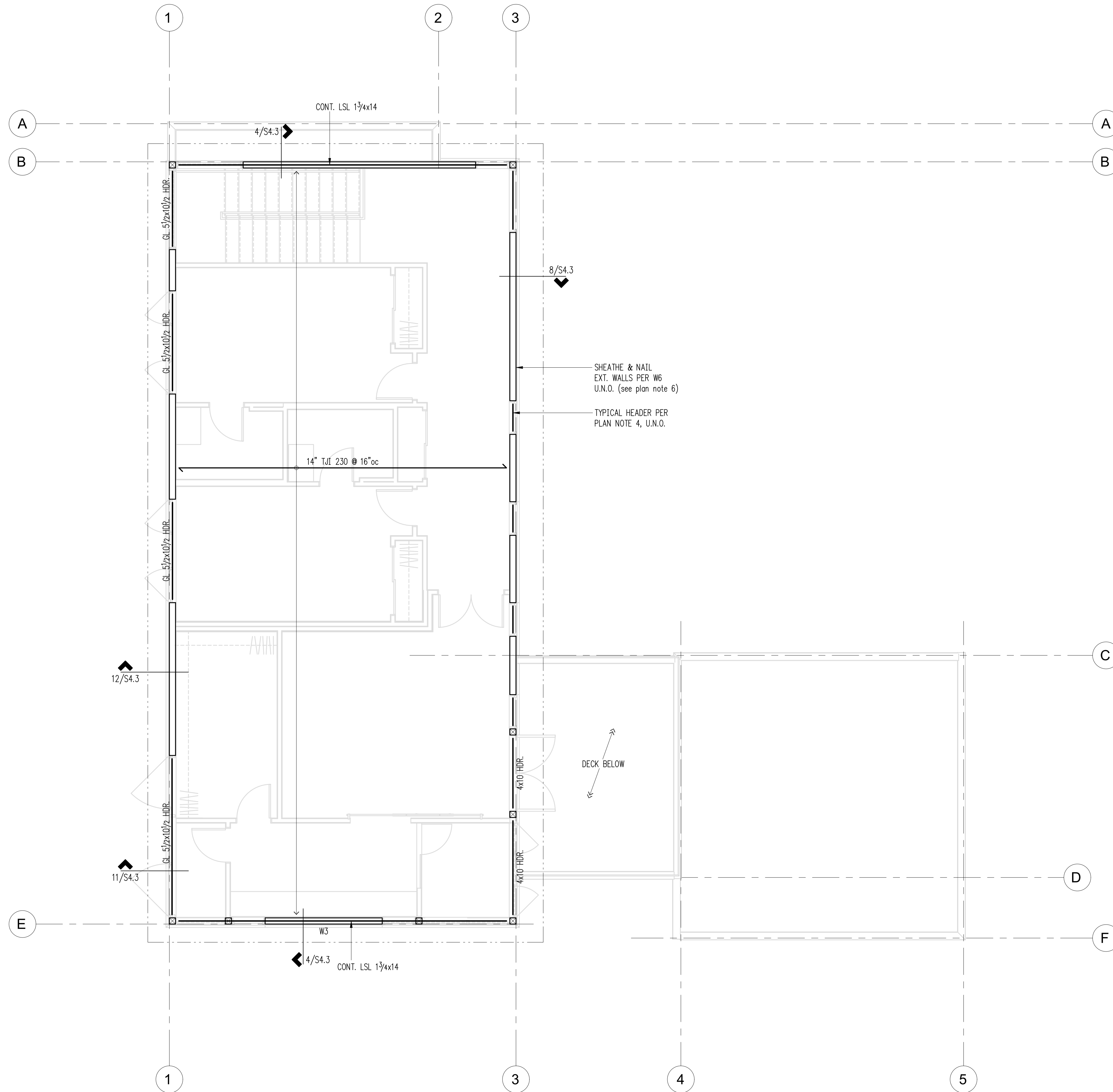
SCALE: 1/4" = 1'-0" U.N.O.

DATE: Sept. 4, 2018

PROJECT NO: 10604-2018-01-00

SHEET NO:

S2.4



Legend

- STRUCTURAL WALL BELOW
- NON-STRUCTURAL WALL BELOW
- Wx SHEARWALL PER 12/S4.1
- SPAN DIRECTION
- EXTENT OF JOISTS
- HEADER/BEAM PER PLAN
- HANGER

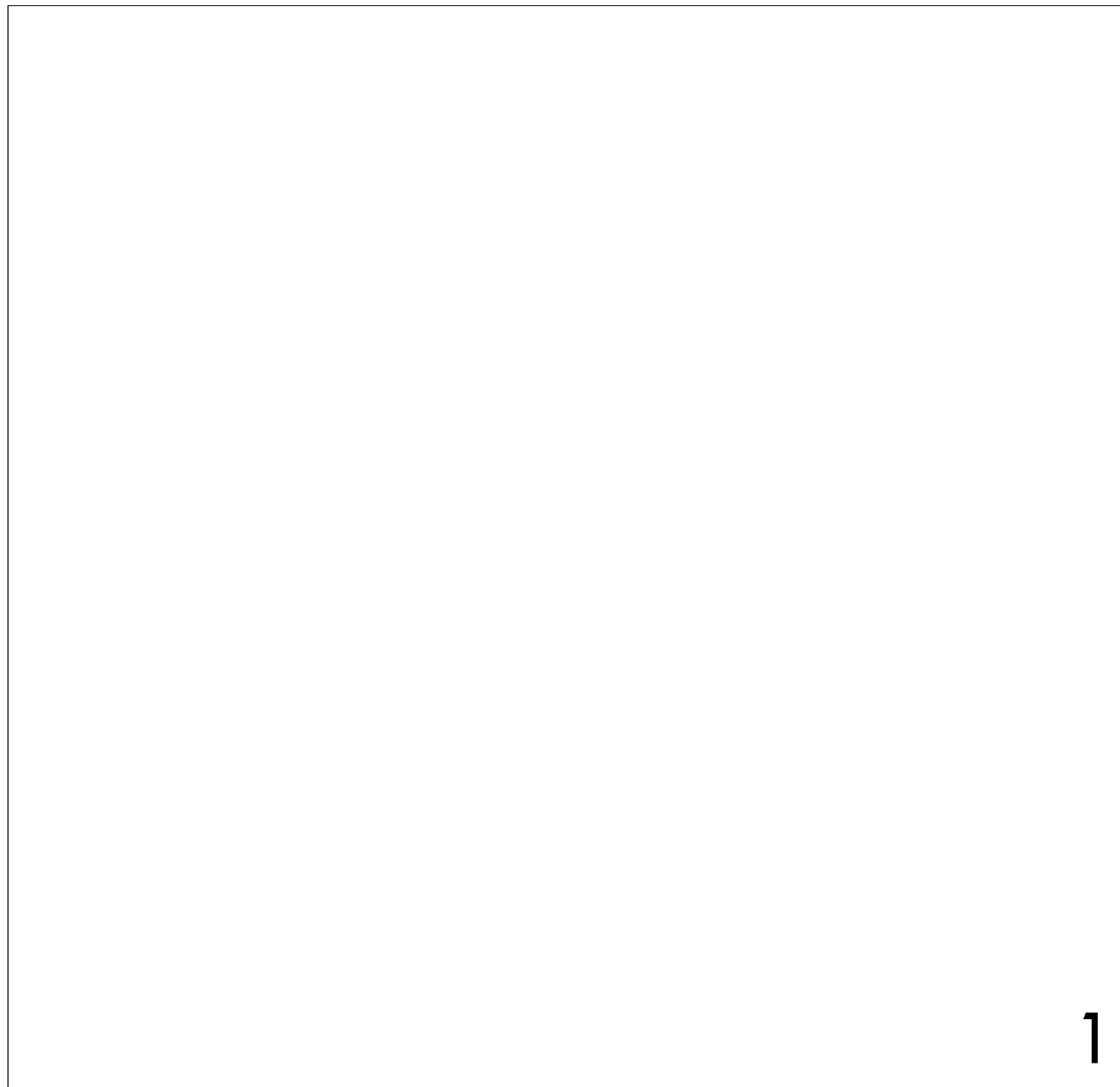
Plan Notes

1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
2. ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8d AT 6"oc AND TO ALL INTERMEDIATE FRAMING AT 12"oc.
3. ROOF FRAMING SHALL BE 14" TJI 230 @ 16"oc.
4. HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE (2) 2x10 MINIMUM. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE ON PLANS. SEE DETAIL 6/S4.1 FOR TYPICAL INSTALLATION.
5. PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
6. W# INDICATES SHEAR WALL. SEE SHEARWALL SCHEDULE, 12/S4.1, FOR CONSTRUCTION REQUIREMENTS. ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE ON PLANS.
7. PROVIDE H2.5A HURRICANE TIE AT EACH TJI RAFTER WHERE IT BEARS ON EXTERIOR WALL.
8. MANUFACTURED LUMBER PRODUCTS (GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
9. SPLICE ALL TOP PLATE SPLICES PER DETAIL 10/S4.1.
10. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

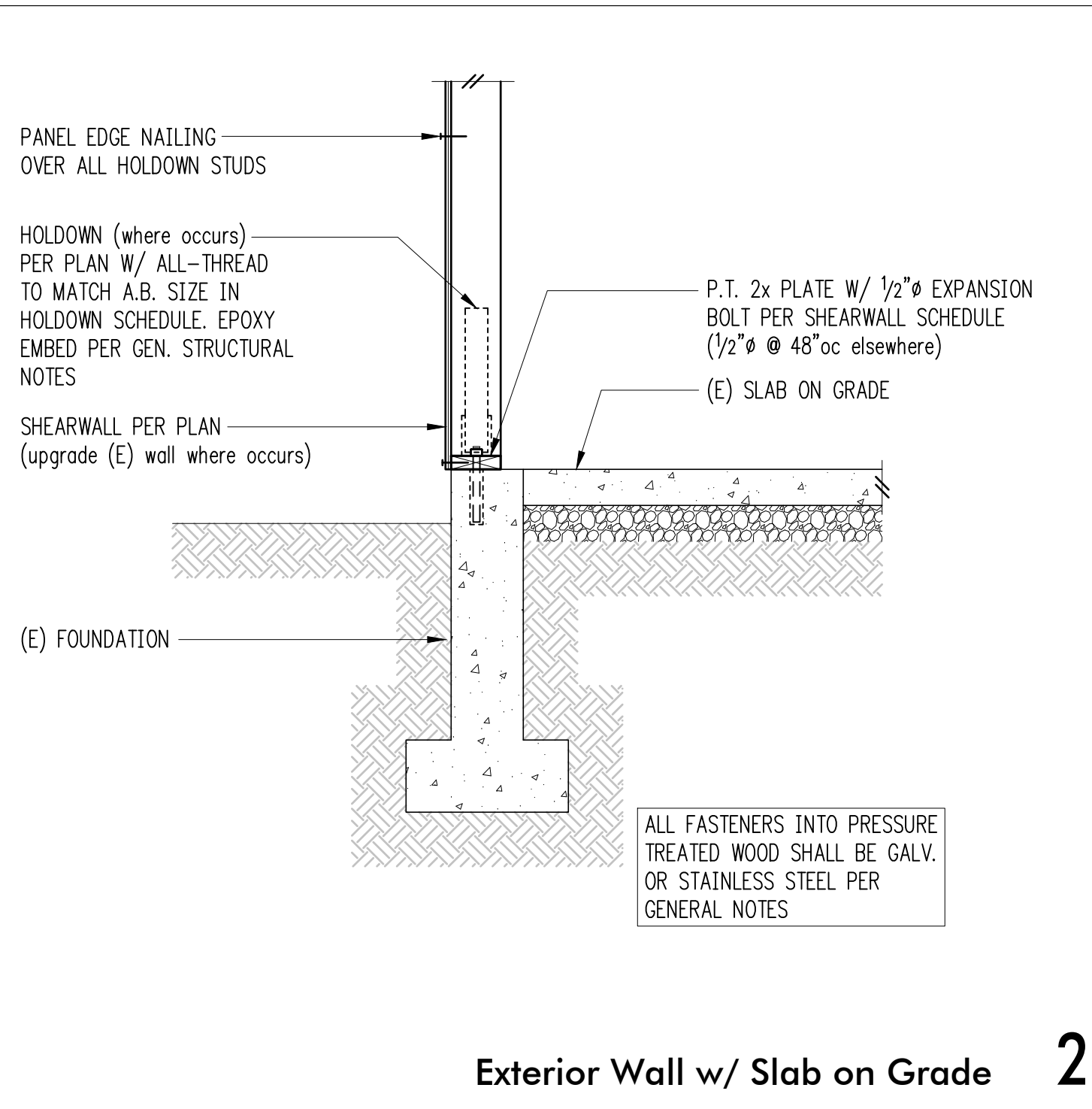
Roof Framing Plan

Scale: 1/4" = 1'-0"

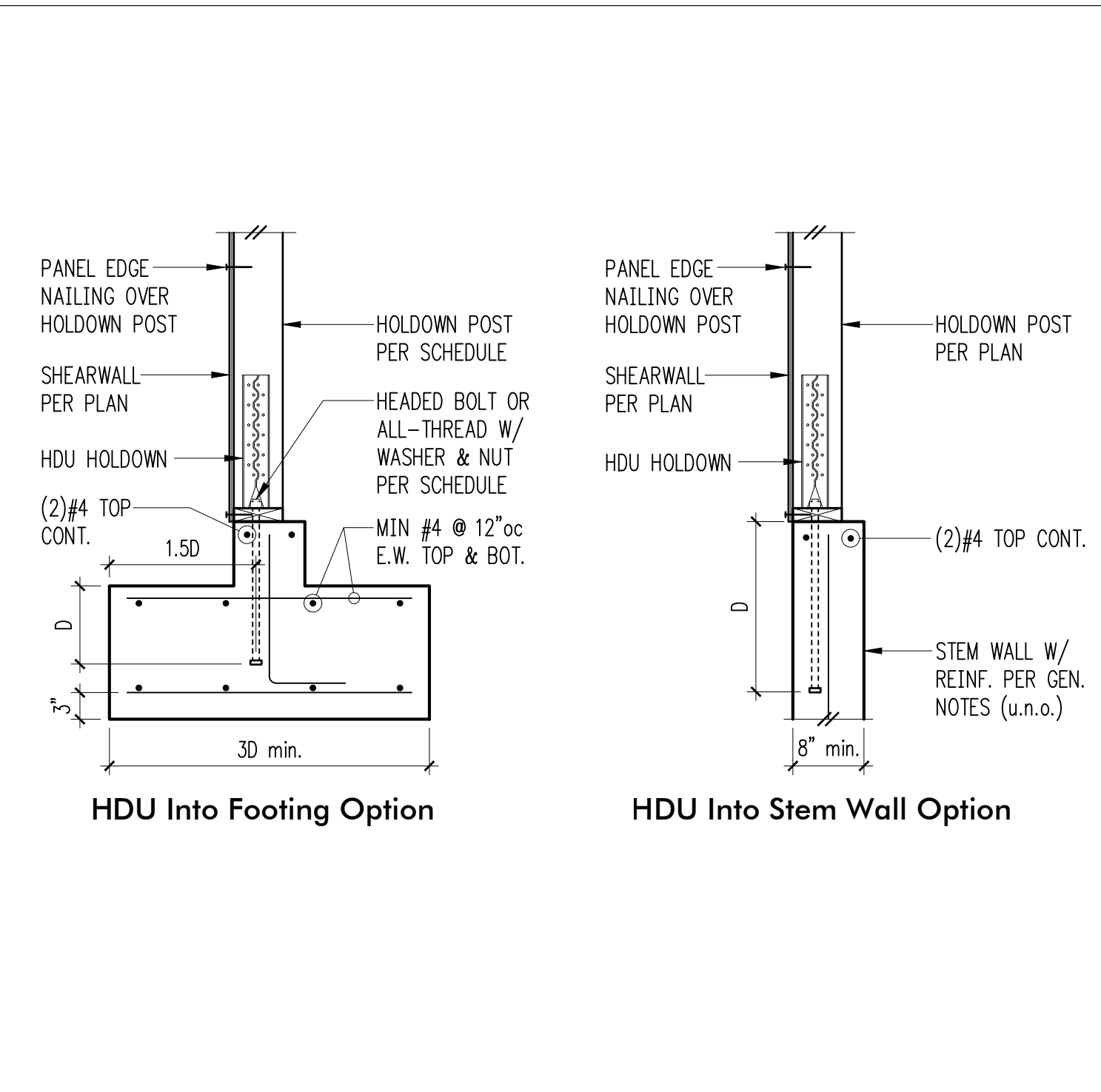




1



2



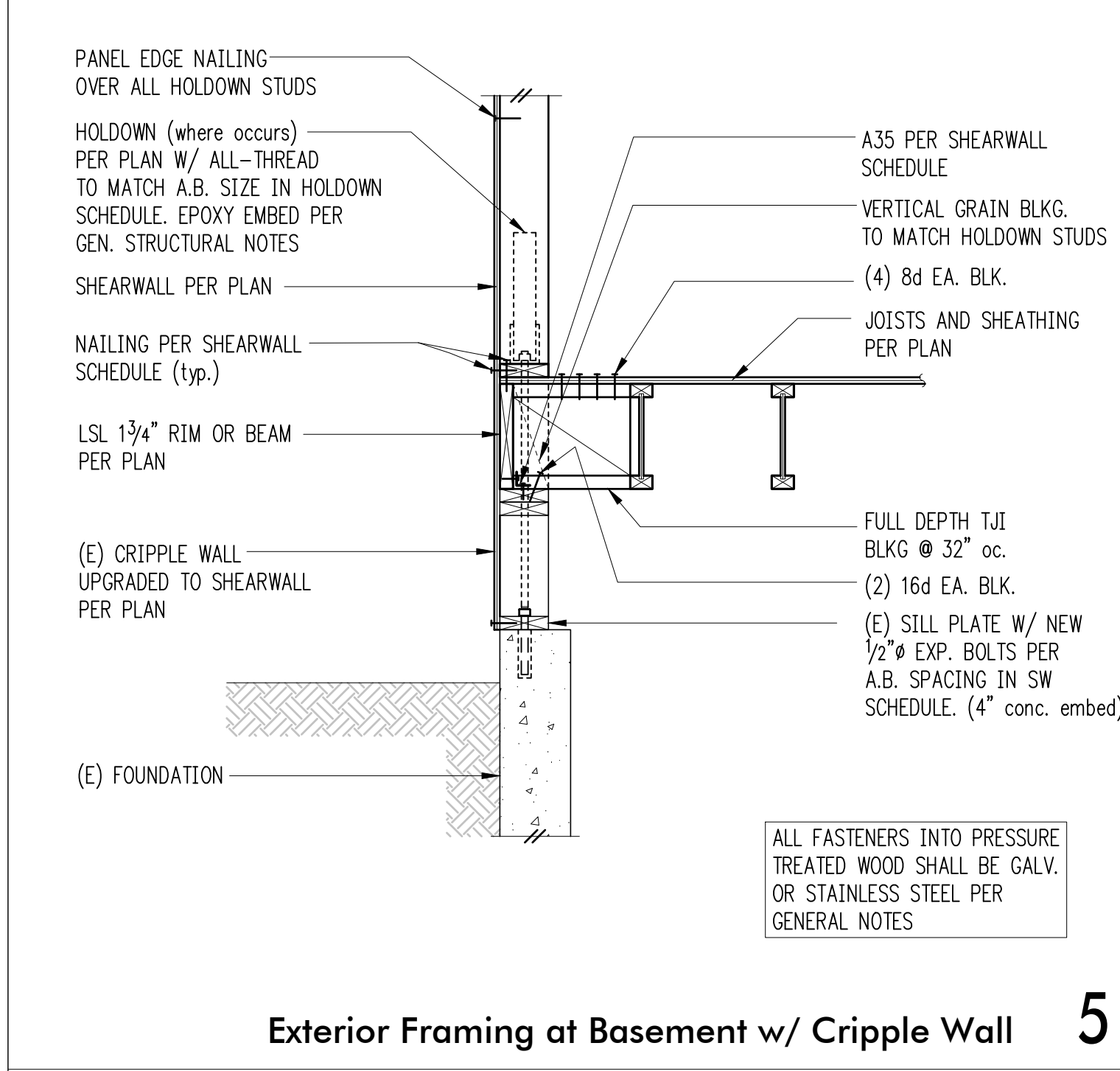
HDU Into Footing Option

HDU Into Stem Wall Option

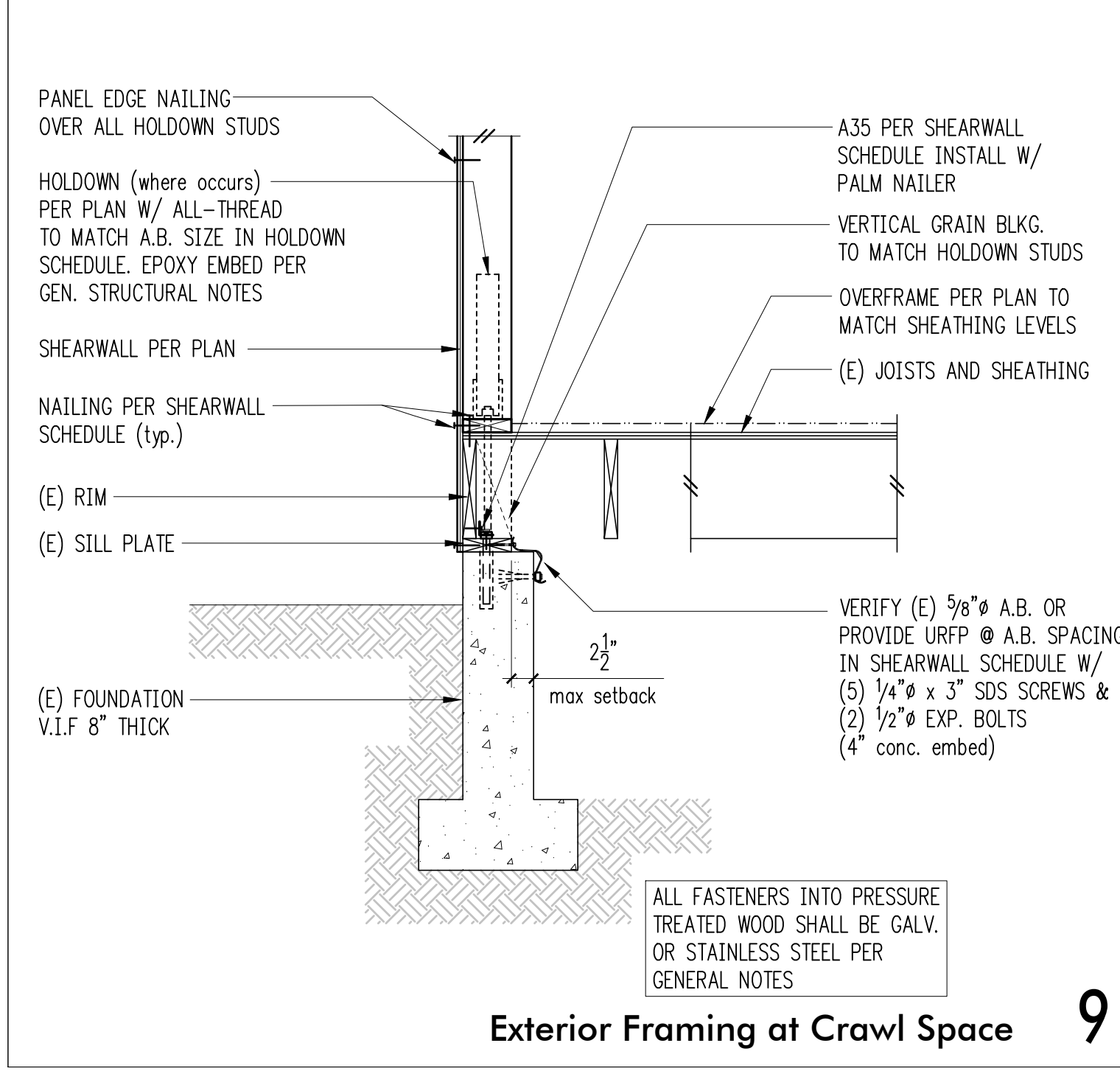
### Holdown Schedule

Plan Mark	Screws	Anchor Bolt	Min. A.B. Embed (D)		Holdown Post ①	
			Stem Wall	Footing	if 2x4	if 2x6
HDU2-SDS2.5	(6)SDS 1/4"x2 1/2"	3/8"φ	12"	4"	(2) 2x4	(2) 2x6
HDU4-SDS2.5	(10)SDS 1/4"x2 1/2"	3/8"φ	18"	6"	4x4	4x6
HDU5-SDS2.5	(14)SDS 1/4"x2 1/2"	3/8"φ	SB7/8x24	7"	4x4	4x6
HDU8-SDS2.5	(20)SDS 1/4"x2 1/2"	7/8"φ	SSTB28	8"	4x6	6x6
HDU11-SDS2.5	(30)SDS 1/4"x2 1/2"	1"φ	SB1x30	10"	4x8	6x6
HDU14-SDS2.5	(36)SDS 1/4"x2 1/2"	1"φ	N/A	12"	4x8	6x6

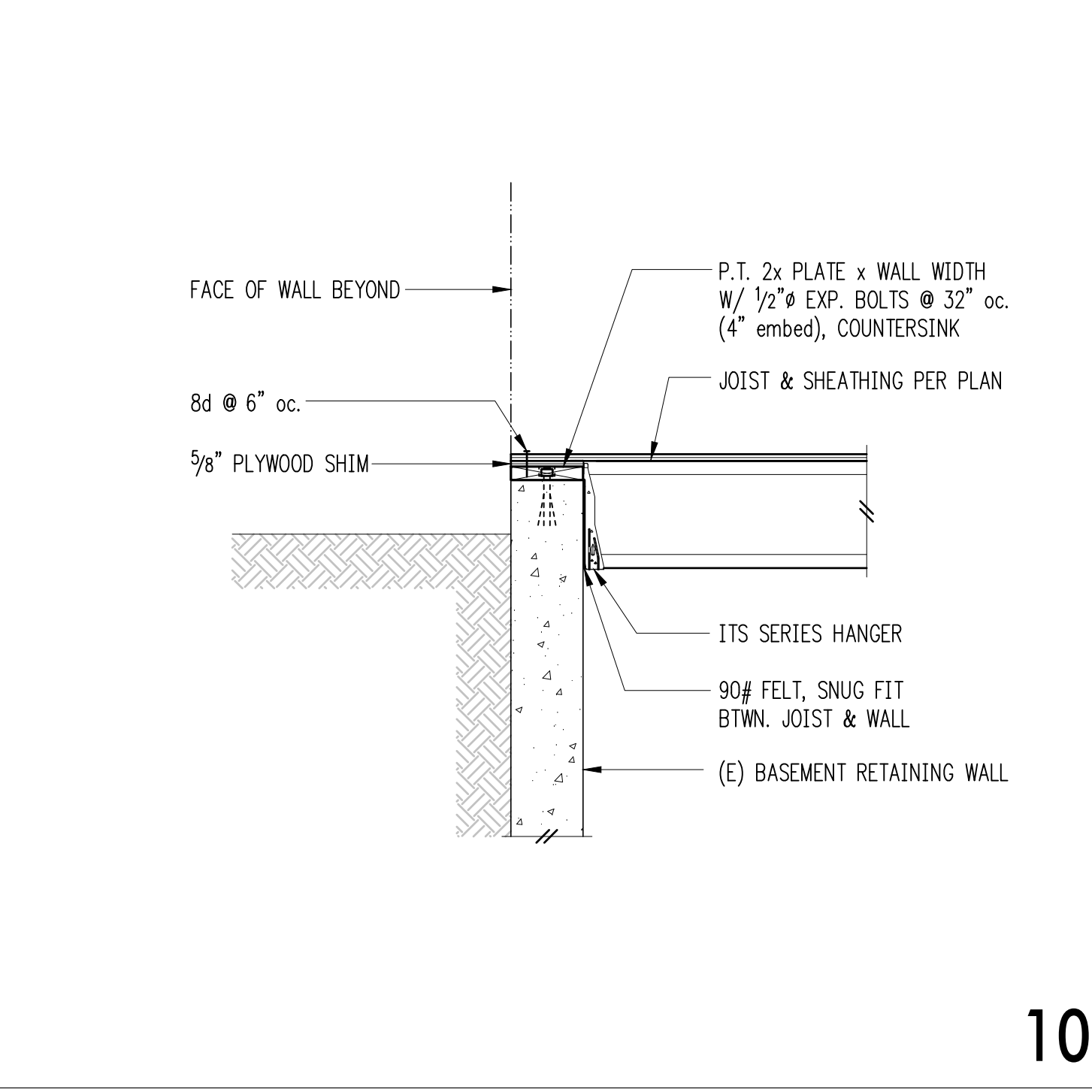
① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.



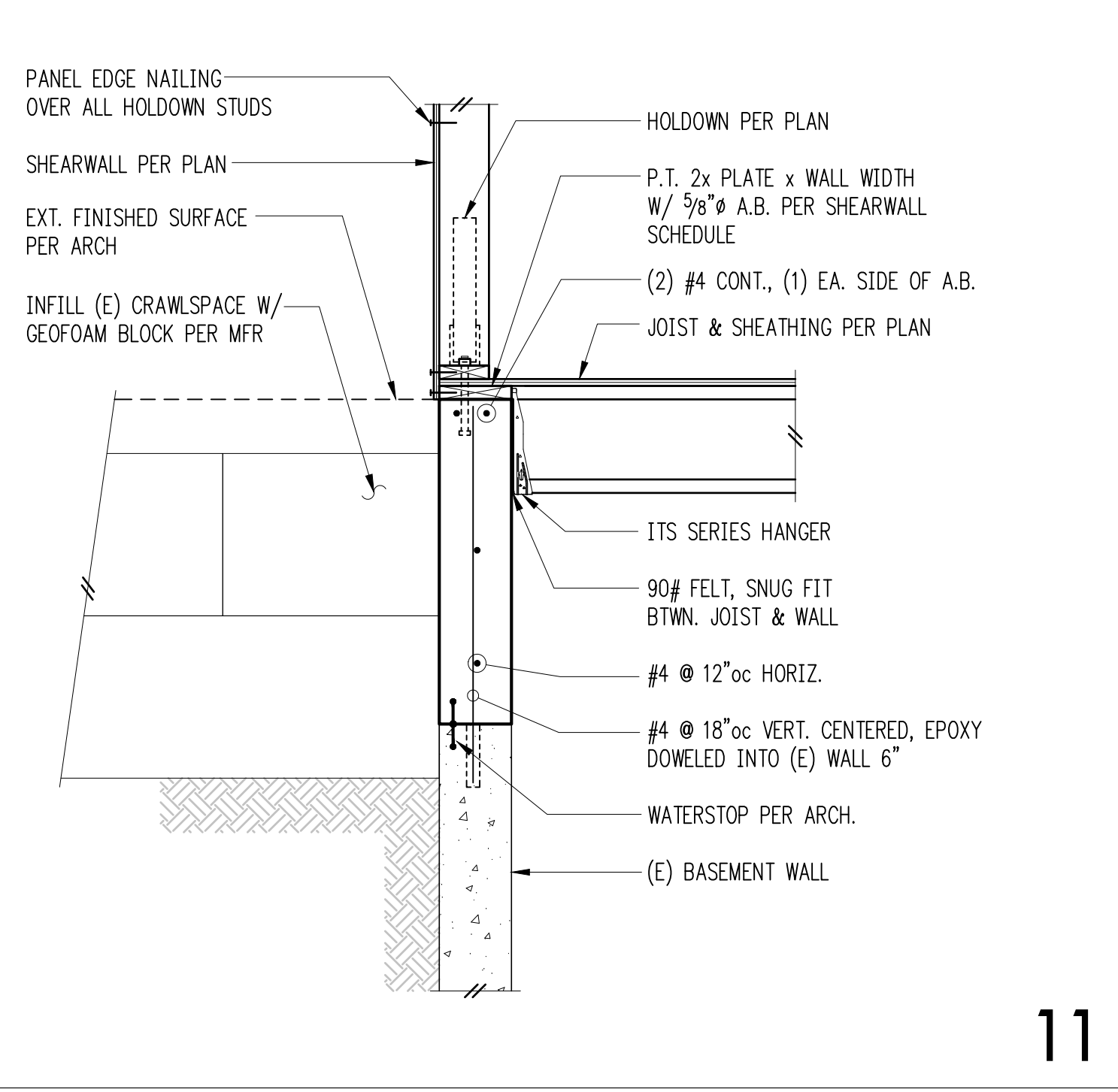
Typical HDU Holdown 4



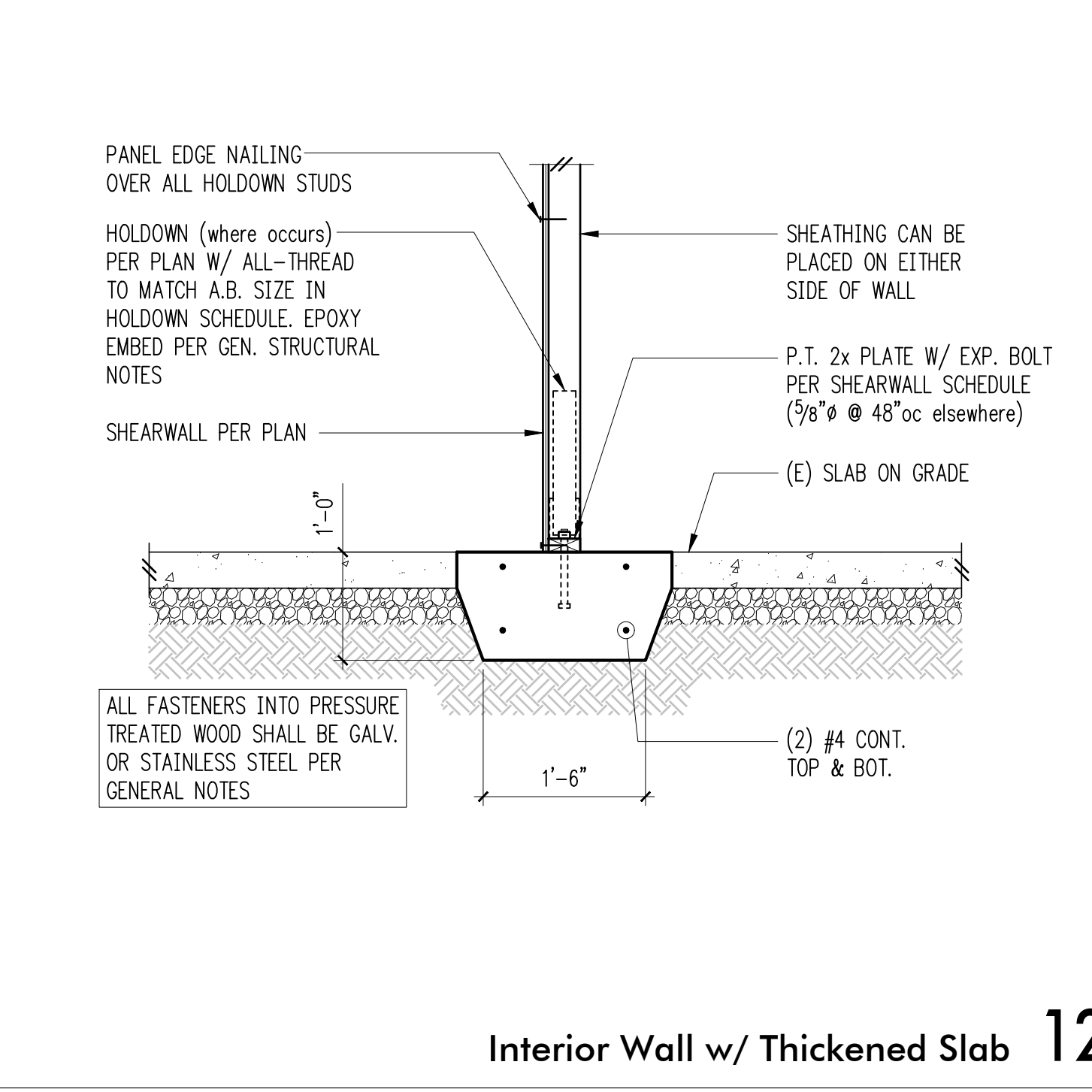
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6



7



8



DRAWN: SJB  
DESIGN: JRC  
CHECKED: RJA  
APPROVED: ABB

REVISIONS:

NO.	DESCRIPTION

DPD: \_\_\_\_\_

PROJECT TITLE: \_\_\_\_\_

Paek Residence  
2215 80th Ave SE  
Mercer Island, WA 98040

ARCHITECT:  
MZA Architecture  
600 108th Ave NE, Suite 108  
Bellevue, WA 98004  
PH 425.559.7888

ISSUE: Permit  
SHEET TITLE: Foundation Sections & Details

SCALE: 3/4 = 1'-0" U.N.O.  
DATE: Sept. 4, 2018  
PROJECT NO: 10604-2018-01-00  
SHEET NO: \_\_\_\_\_



DRAWN: SJB  
DESIGN: JRC  
CHECKED: RJA  
APPROVED: ABB

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ISSUE:

Permit

SHEET TITLE:

**Typical Wood  
Sections & Details**

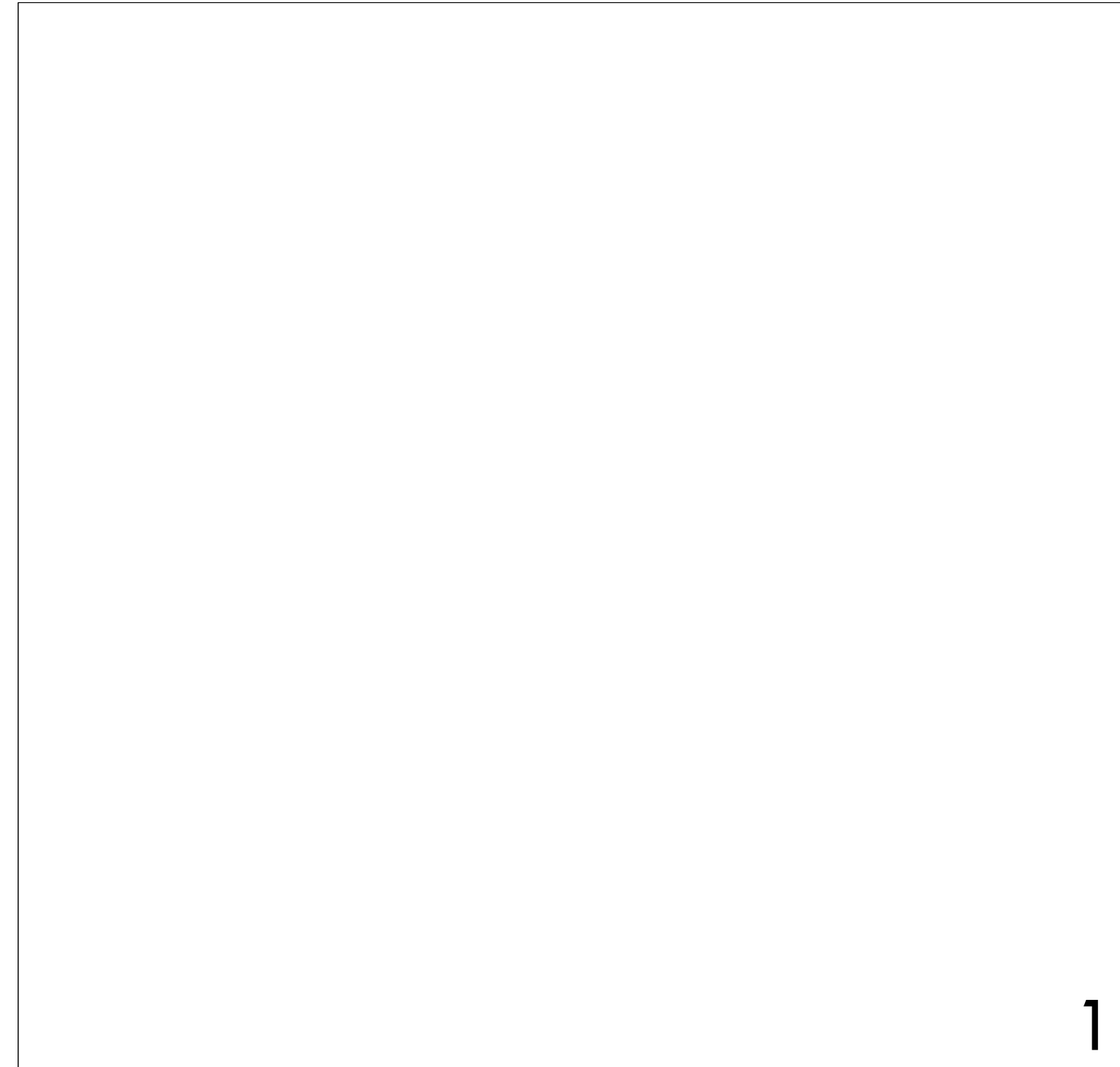
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DATE: Sept. 4, 2018

PROJECT NO: 10604-2018-01-00

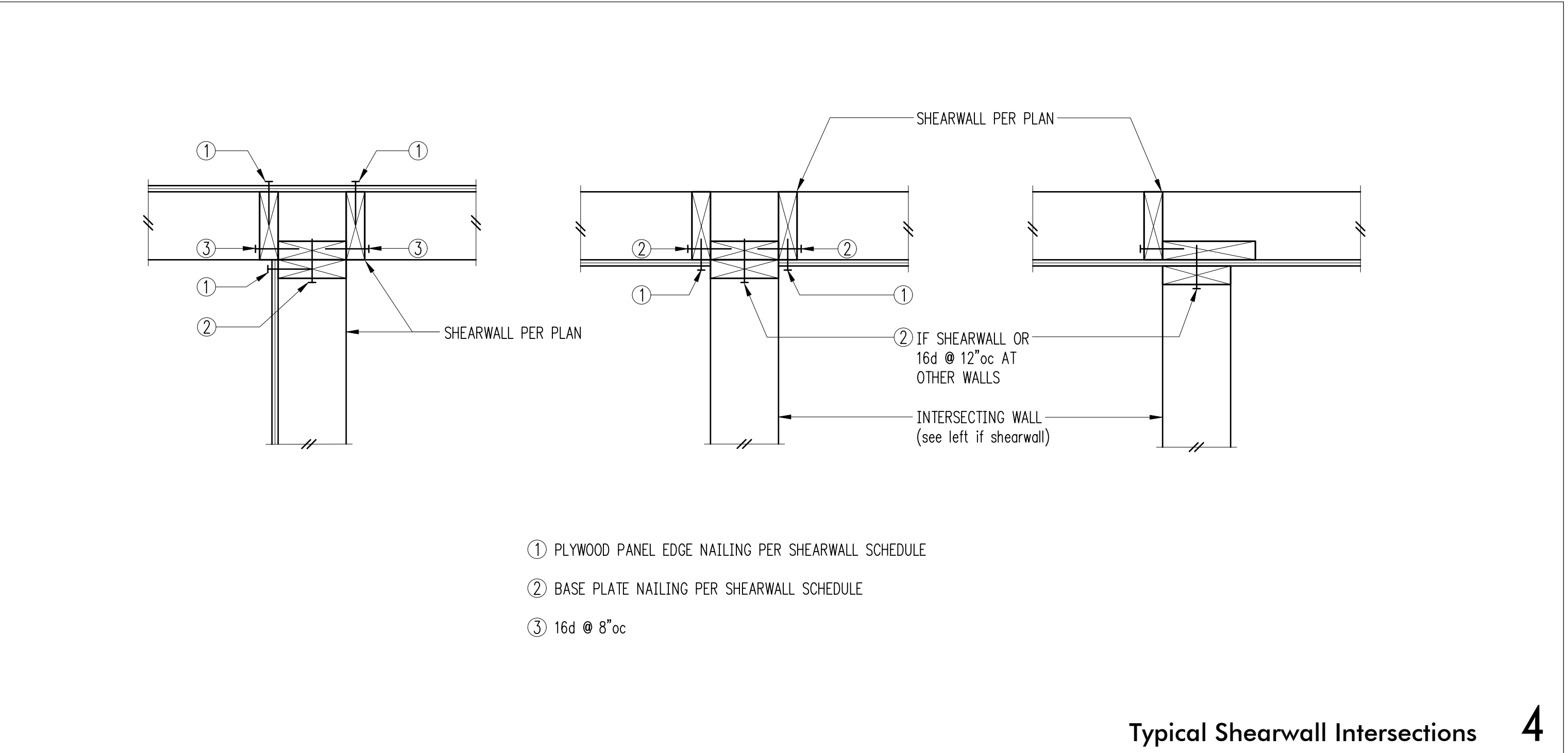
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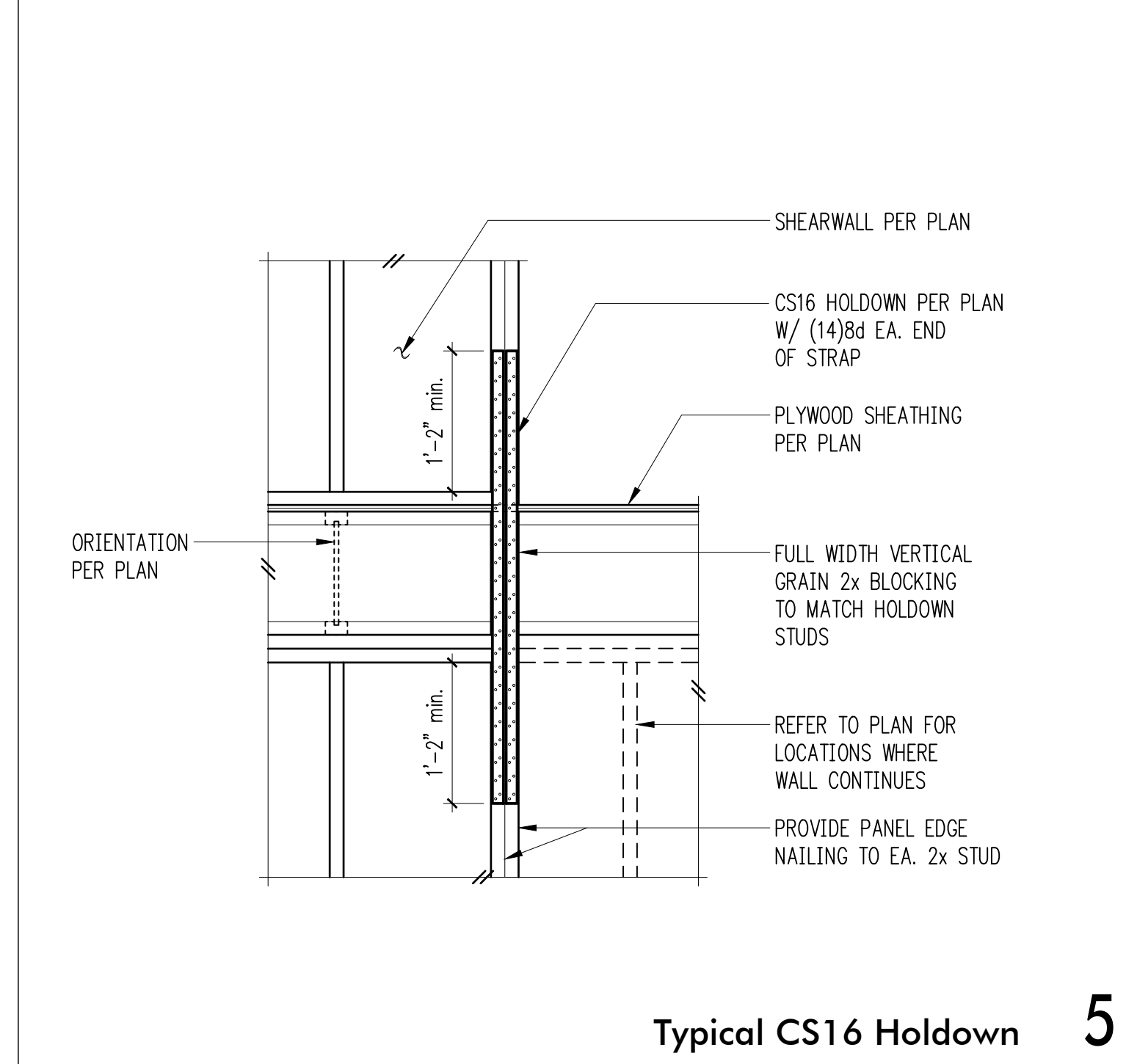
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Typical Shearwall at Changing Wall Thickness 2



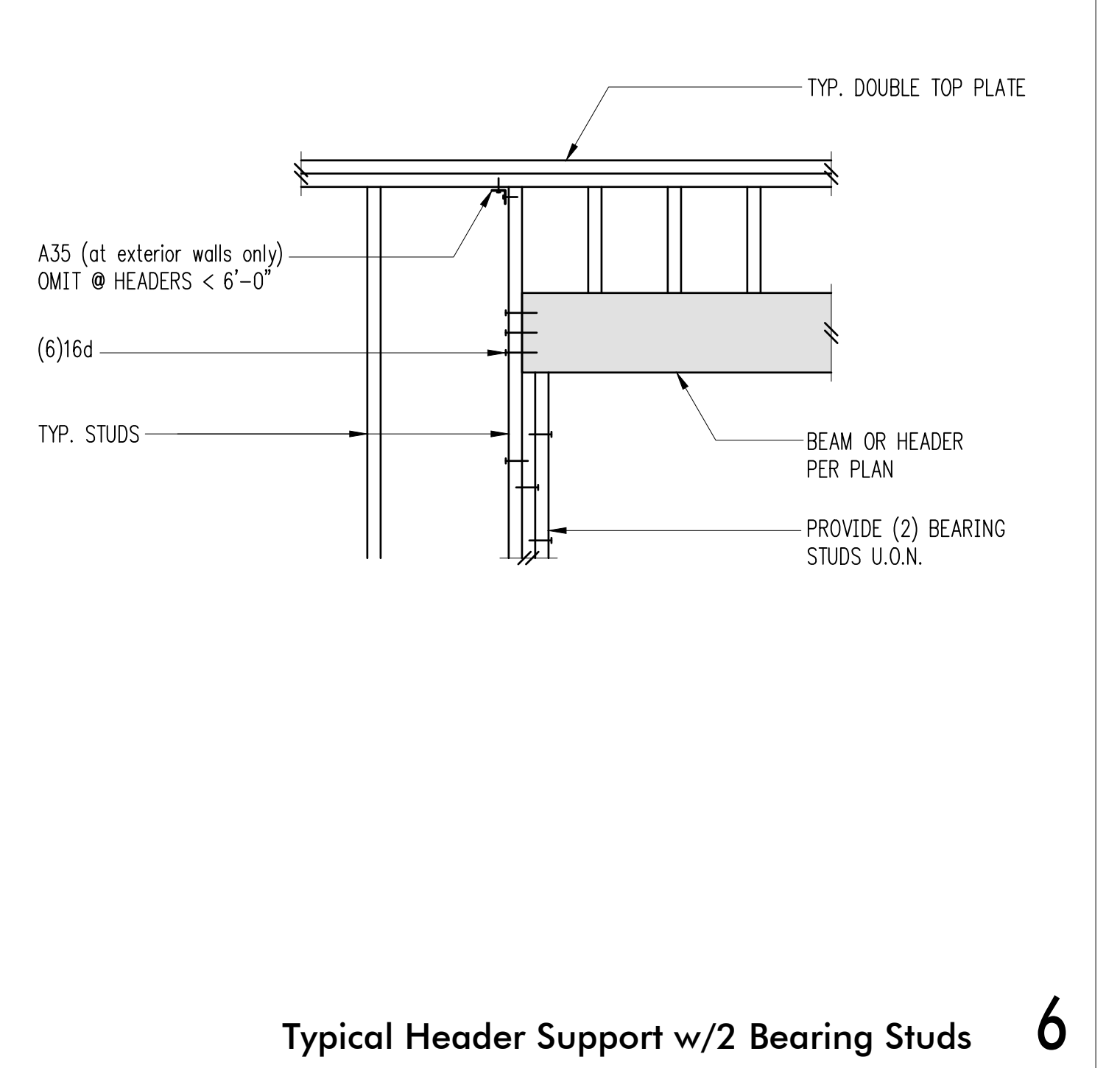
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Typical Shearwall Intersections 4



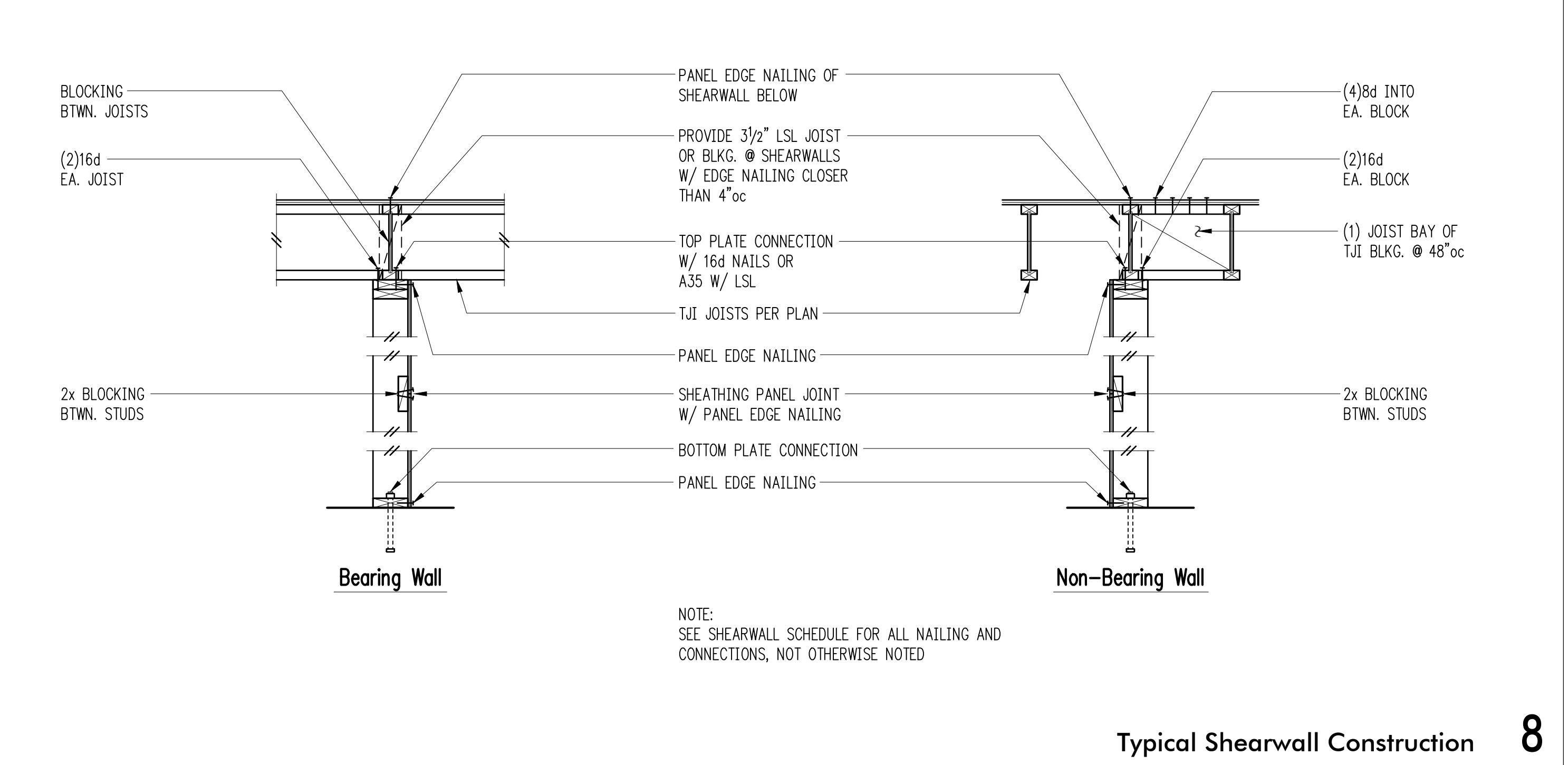
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Typical CS16 Holddown 5



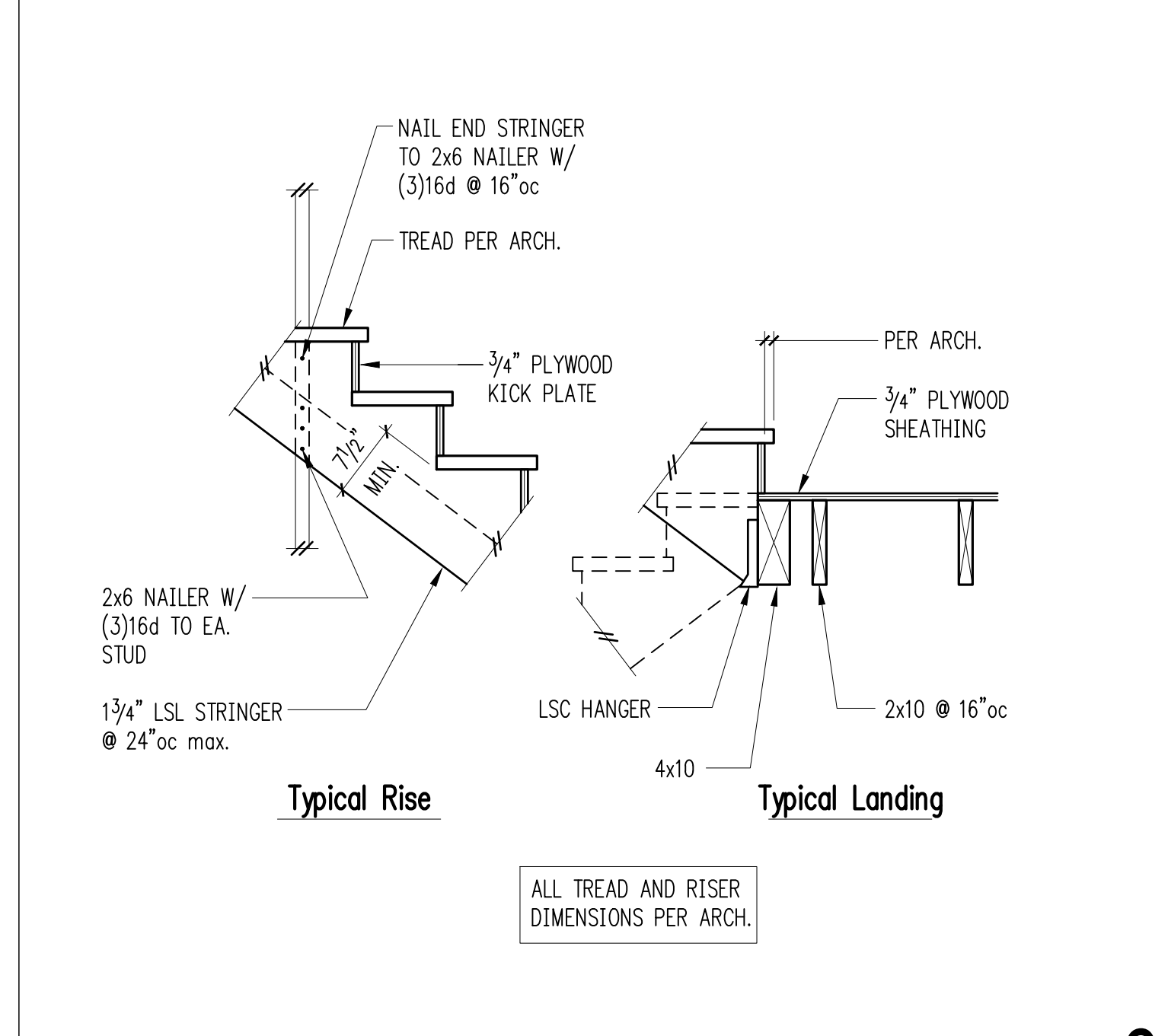
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Typical Header Support w/2 Bearing Studs 6



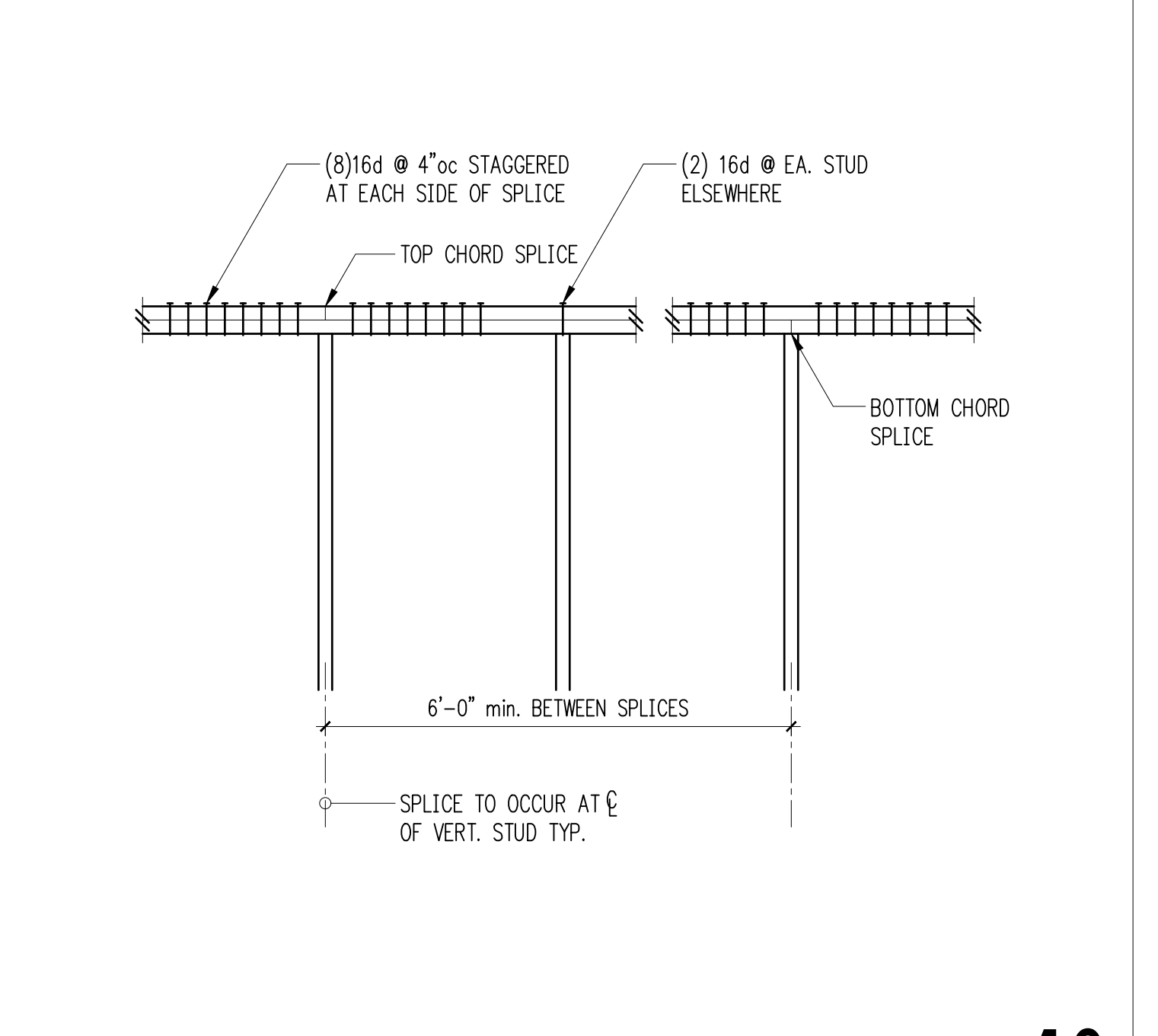
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Typical Shearwall Construction 8



9

Typical Stair and Landing Detail 9



10

Typical Top Plate Splice 10

SAWN OR MFR. LUMBER, 2x MIN. SEE NOTES FOR ADDITIONAL REQUIREMENTS

**Shearwall Schedule** ①②③④⑤⑥⑦

Mark	Sheathing	Panel Edge Nailing	Top Plate Connection		Base Plate Connection	
			if TJI	if Wood ⑤	at Wood ⑩	at Concrete
W6	15/32" CDX PLYWOOD	8d @ 6"oc	16d @ 6"oc	A35 @ 24"oc	16d @ 6"oc	5/8" A.B. @ 48"oc
W4	15/32" CDX PLYWOOD	8d @ 4"oc	16d @ 4"oc	A35 @ 16"oc	(2)rows 16d @ 6"oc	5/8" A.B. @ 32"oc
W3 ①	15/32" CDX PLYWOOD	8d @ 3"oc	(2)rows 16d @ 4"oc	A35 @ 12"oc	(2)rows 16d @ 6"oc	5/8" A.B. @ 24"oc
W2 ②	15/32" CDX PLYWOOD	8d @ 2"oc	(2)rows 16d @ 4"oc	A35 @ 9"oc	(2)rows 16d @ 4"oc ⑪	5/8" A.B. @ 16"oc

① BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12"oc.  
② 8d NAILS SHALL BE 0.131" x 2 1/2" (common) - 16d NAILS SHALL BE 0.135" x 3 1/2" (box)  
③ EMBED ANCHOR BOLTS AT LEAST 7", EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT. TITEN HD SCREW ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS W/ 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" MIN. PLATE WASHERS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING. SEE DETAIL C.  
④ 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.  
⑤ TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.  
⑥ ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.  
⑦ 7/16" O.S.B. MAY BE SUBSTITUTED FOR 15/32" CDX.  
⑧ LTP4's (HORIZONTAL ORIENTATION) W/ 8d COMMON MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.  
⑨ A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.  
⑩ AT MULTI-ROW NAILING, MINIMUM OFFSET BETWEEN ROWS AND ROW SPACING 1/2", SEE DETAIL D.  
⑪ PROVIDE (3) ROWS 16d @ 6"oc AT LVL RIMS.

Shearwall Schedule - (Sheathed One Side) 12

12



DRAWN: SJB  
DESIGN: JRC  
CHECKED: RJA  
APPROVED: ABB

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DPD:

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ISSUE:

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SHEET TITLE:

Wood Framing  
Sections & Details

SCALE:

3/4 = 1'-0" U.N.O.

DATE:

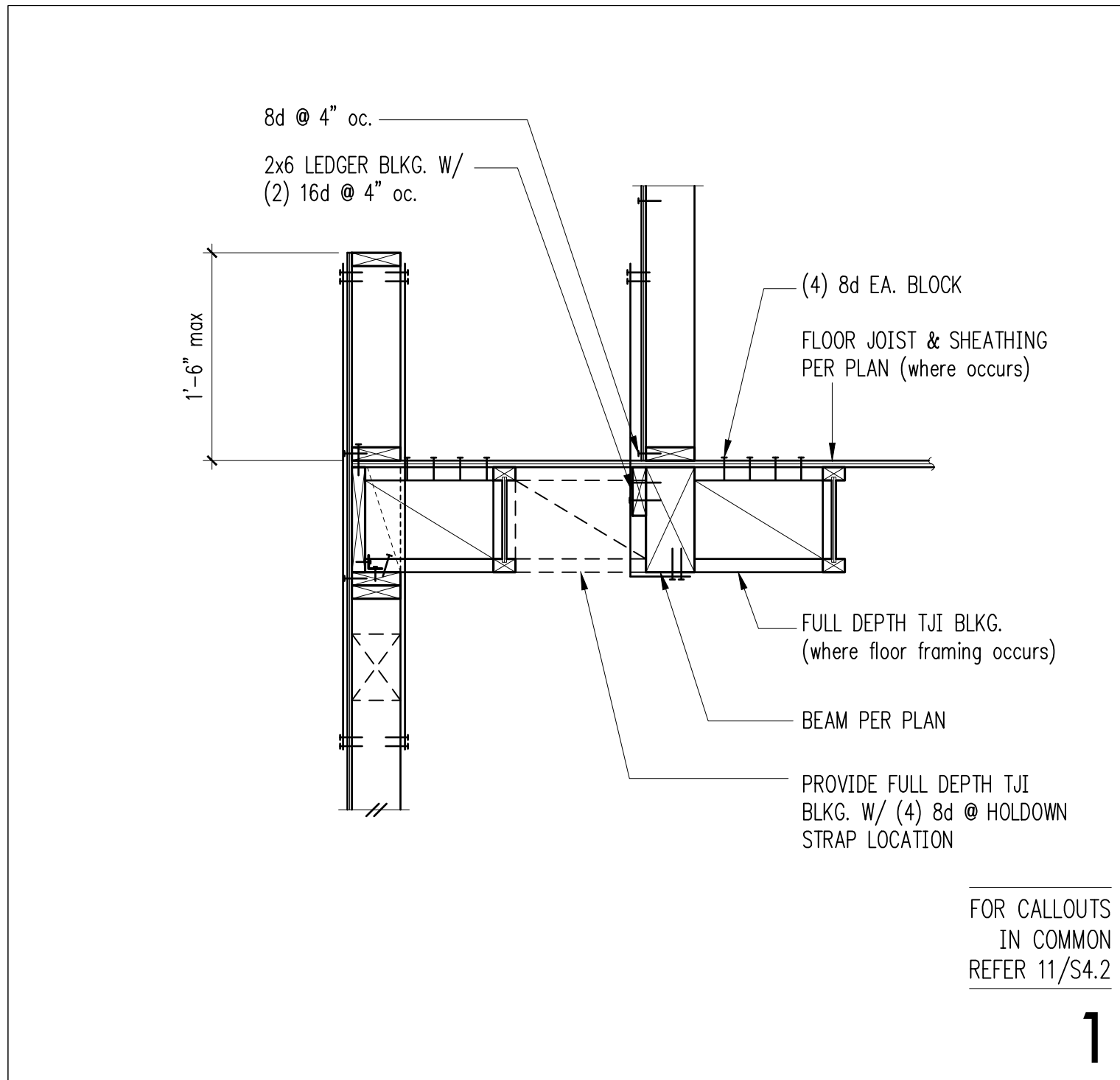
Sept. 4, 2018

PROJECT NO:

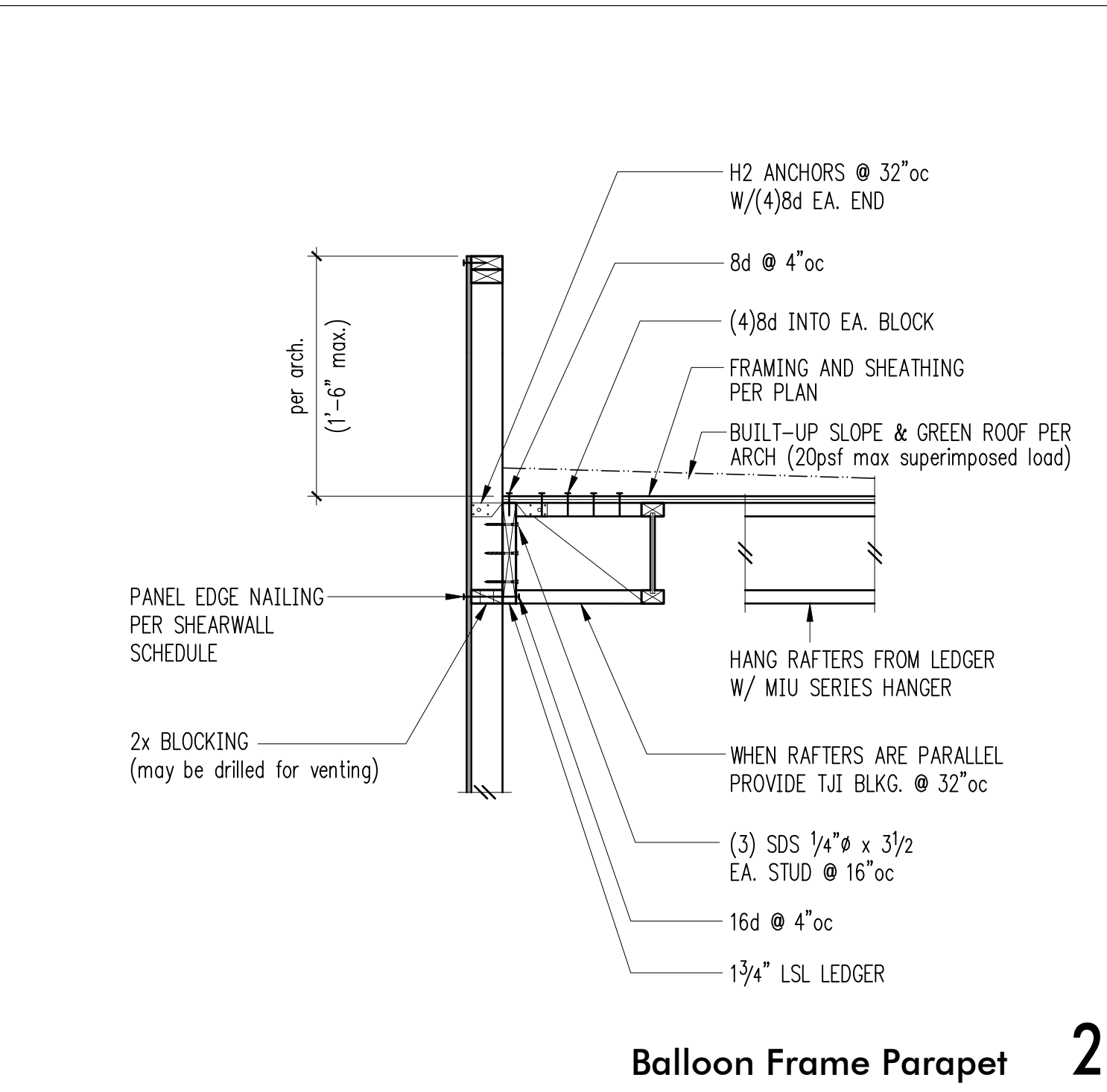
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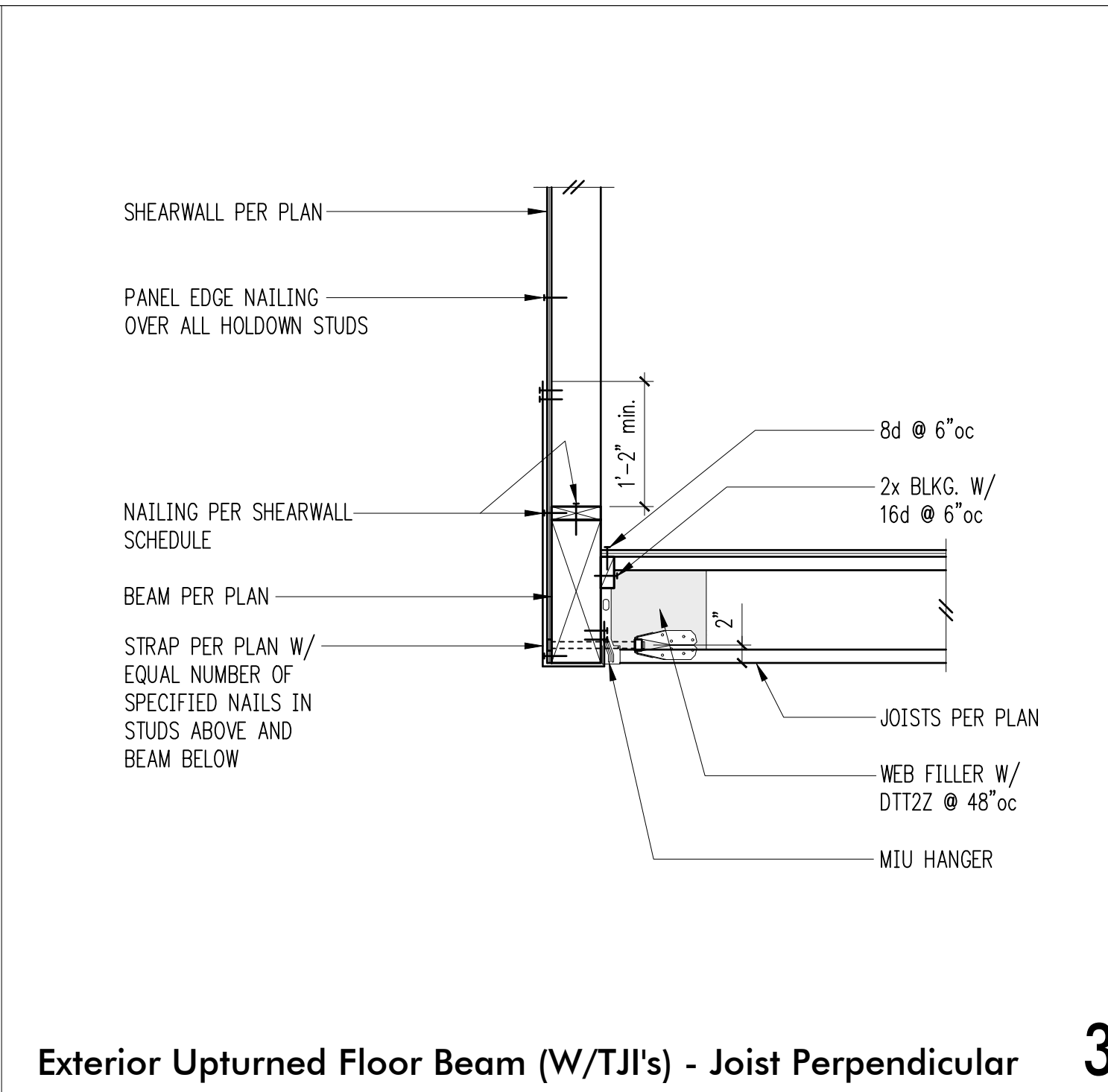
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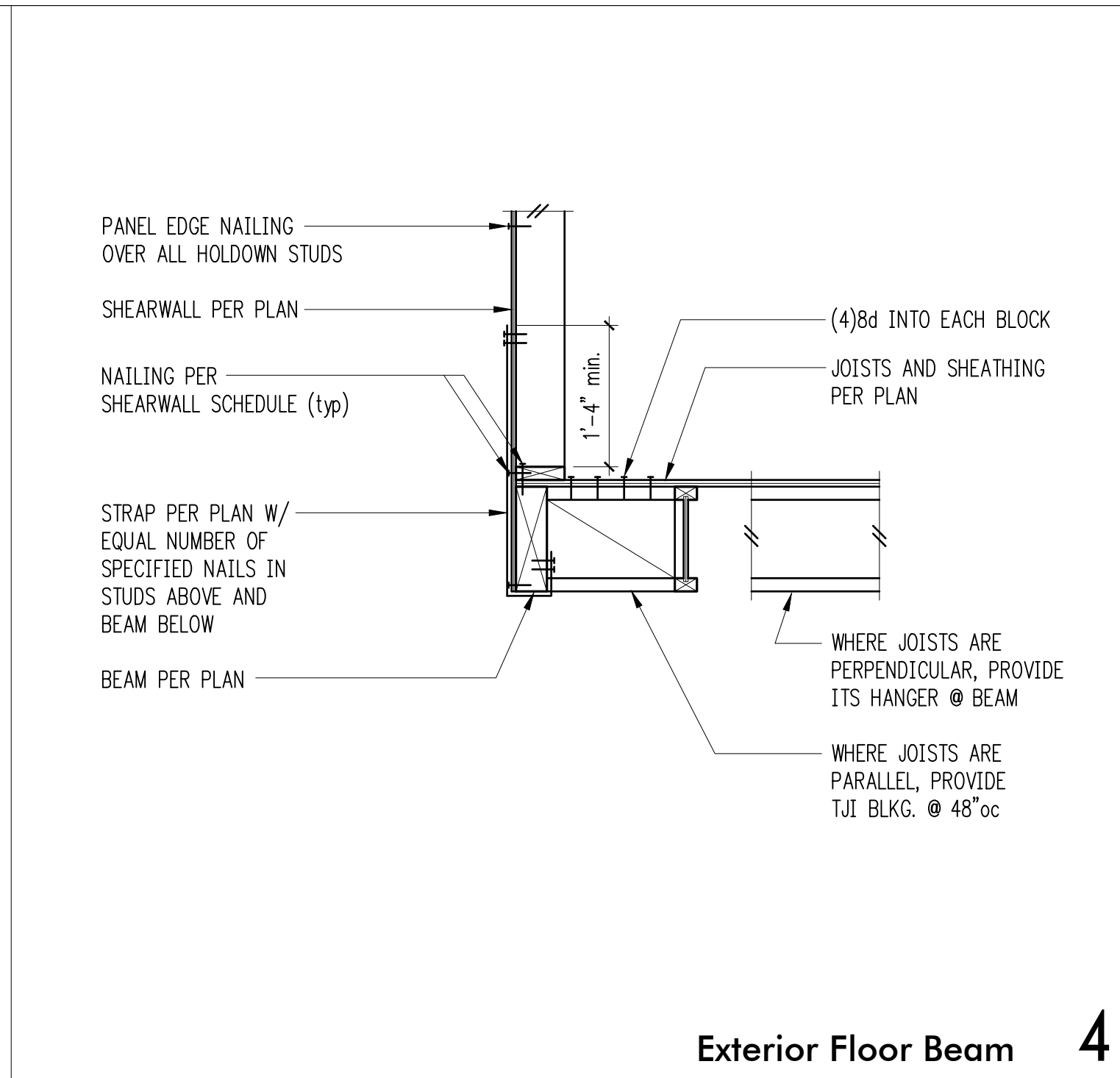
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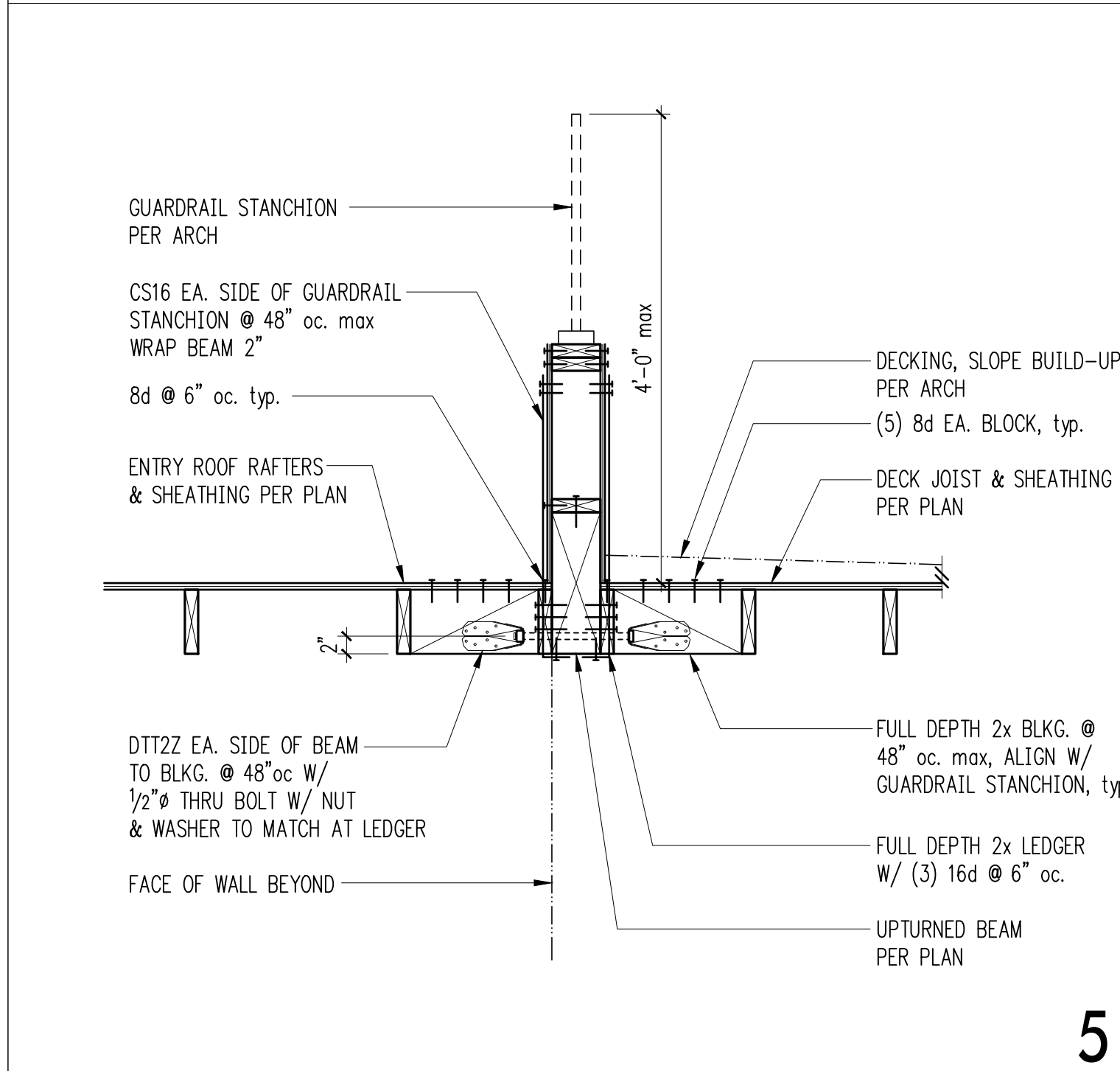
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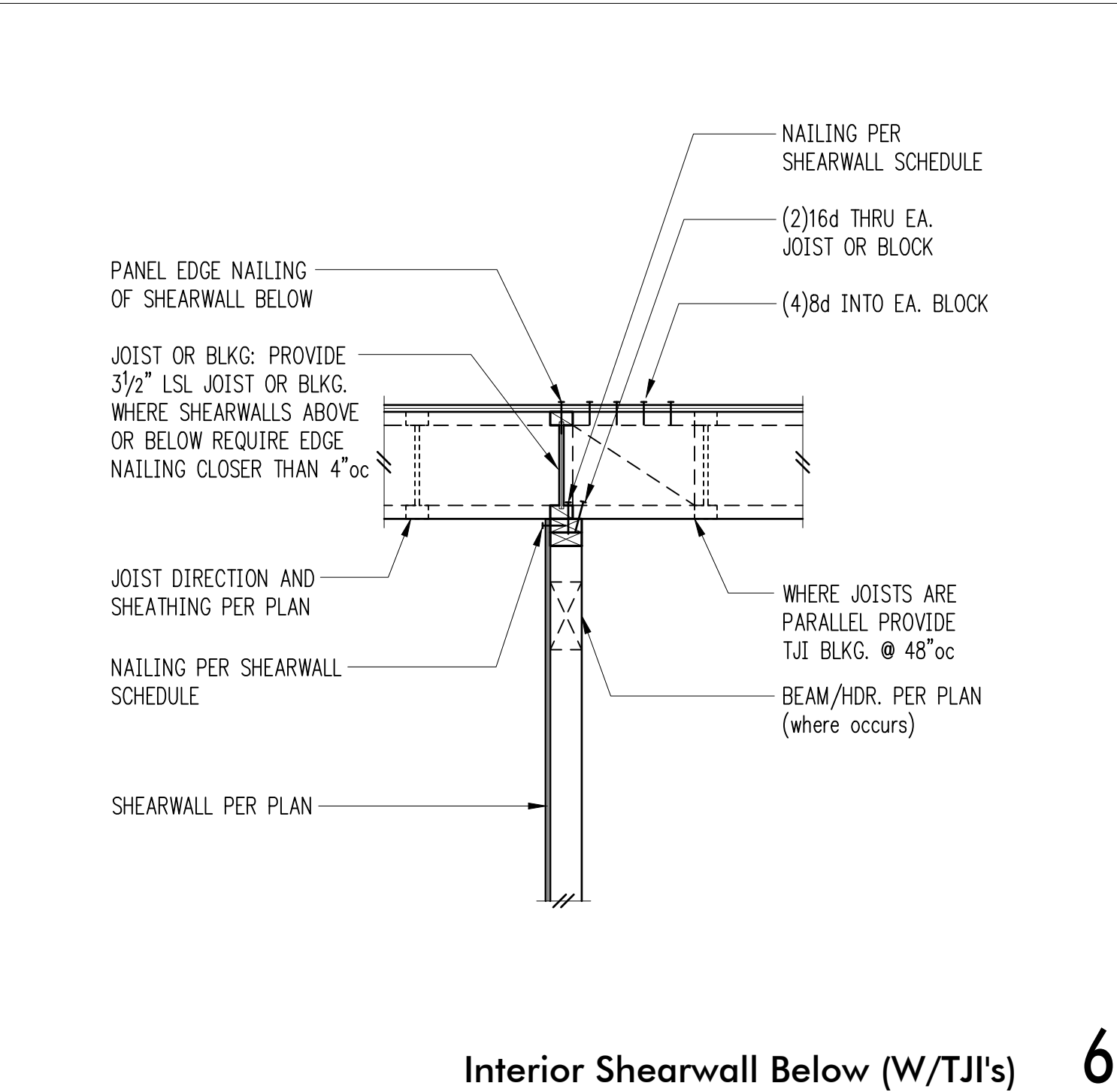
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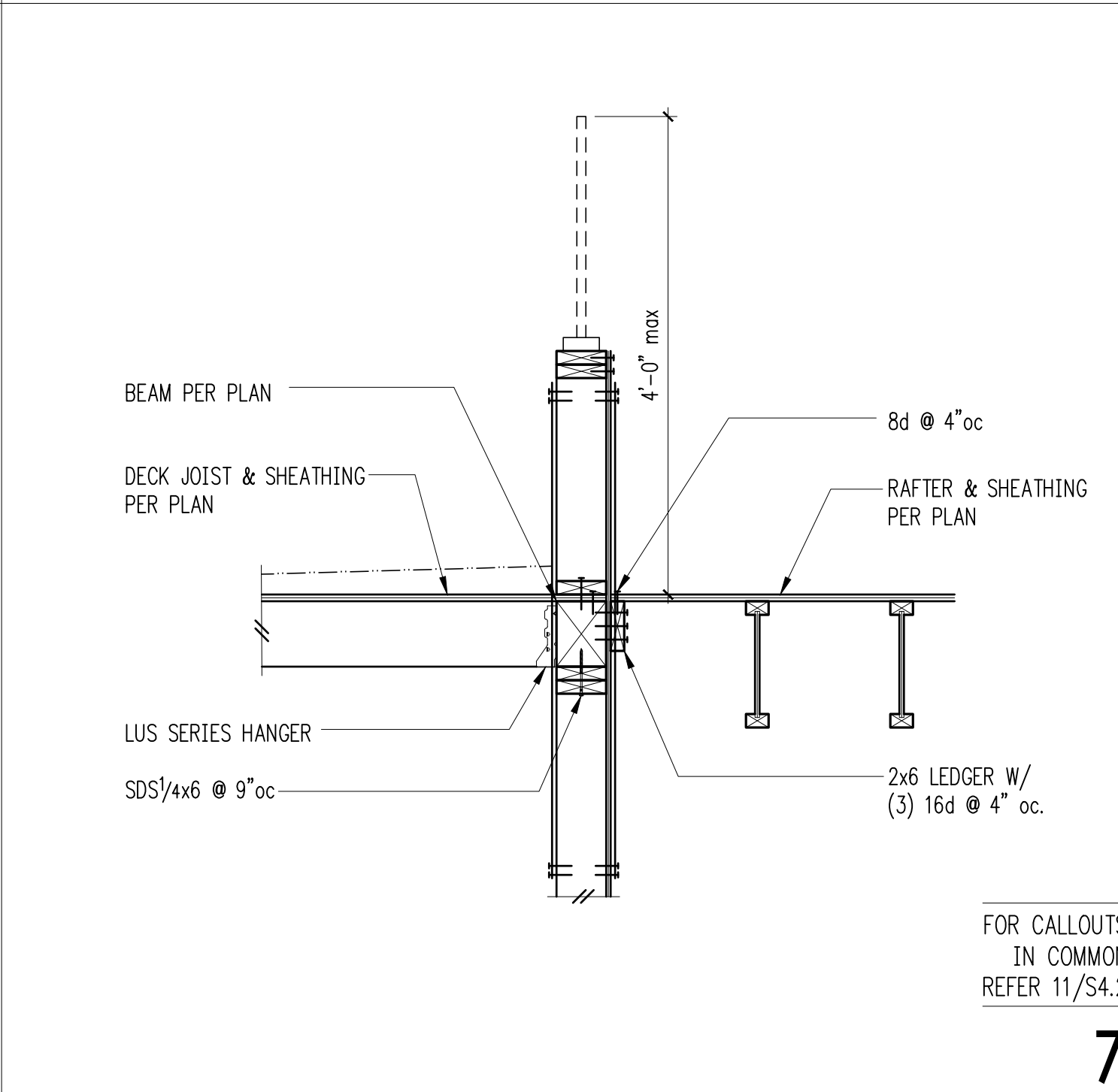
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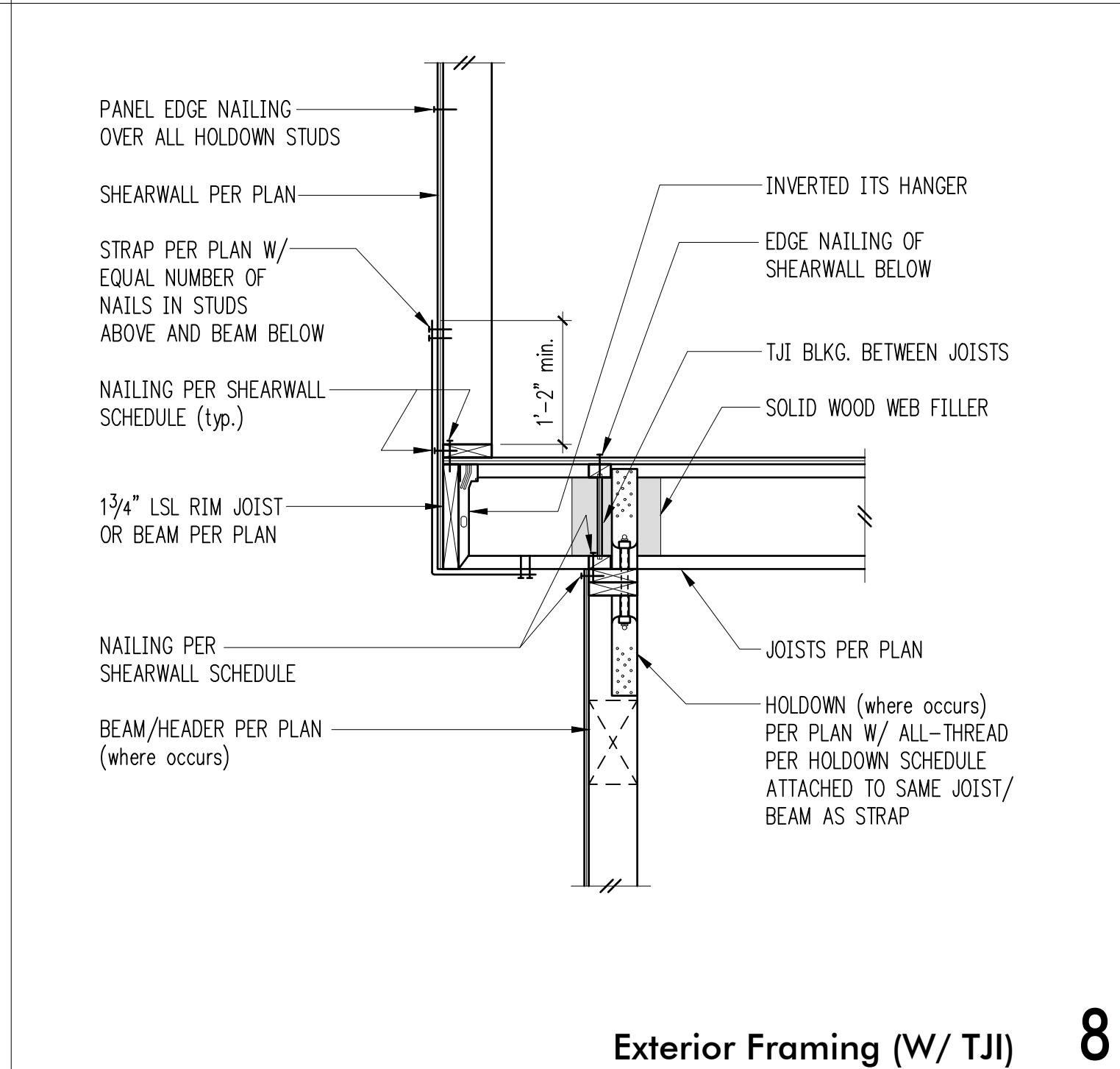
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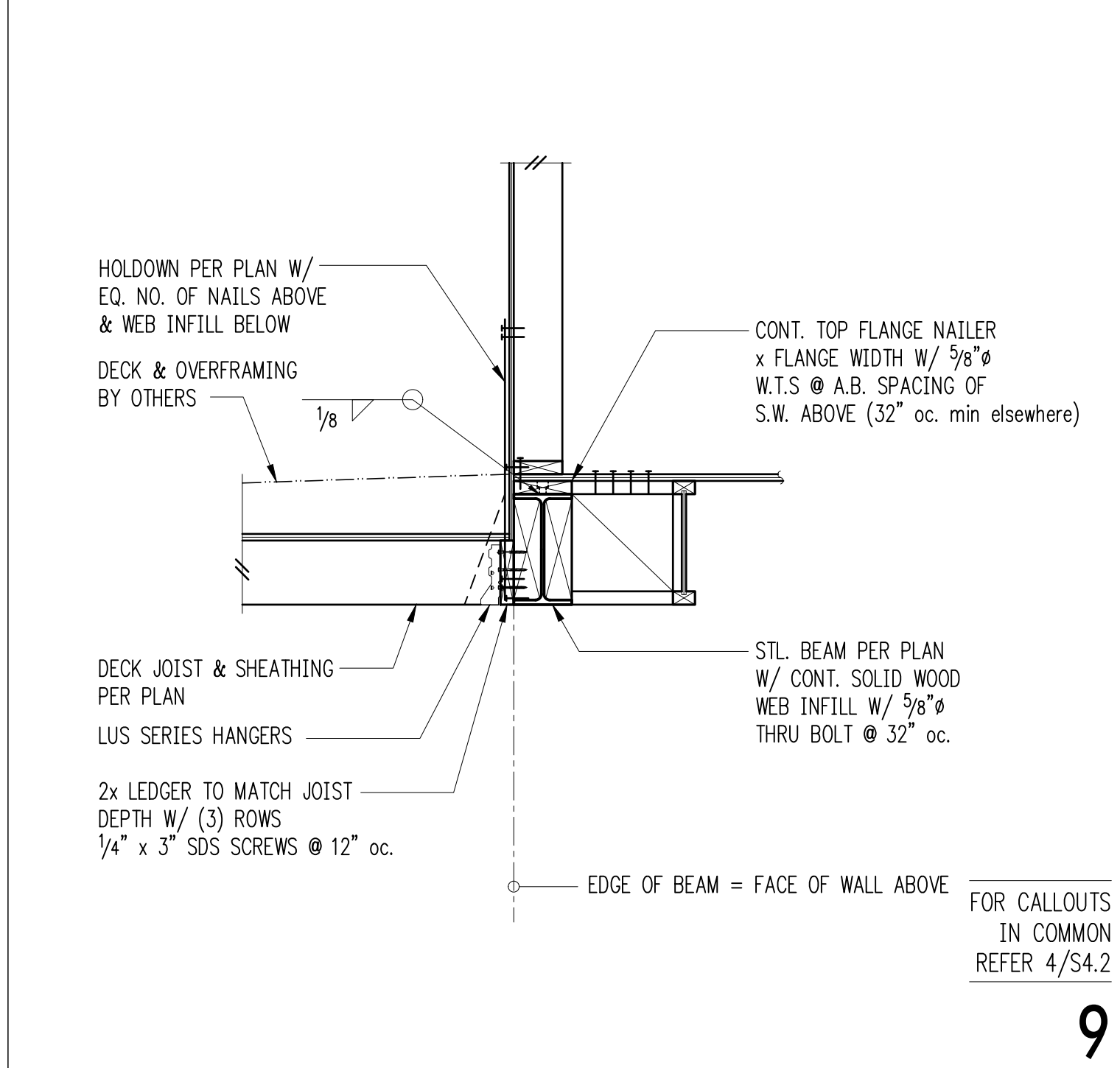
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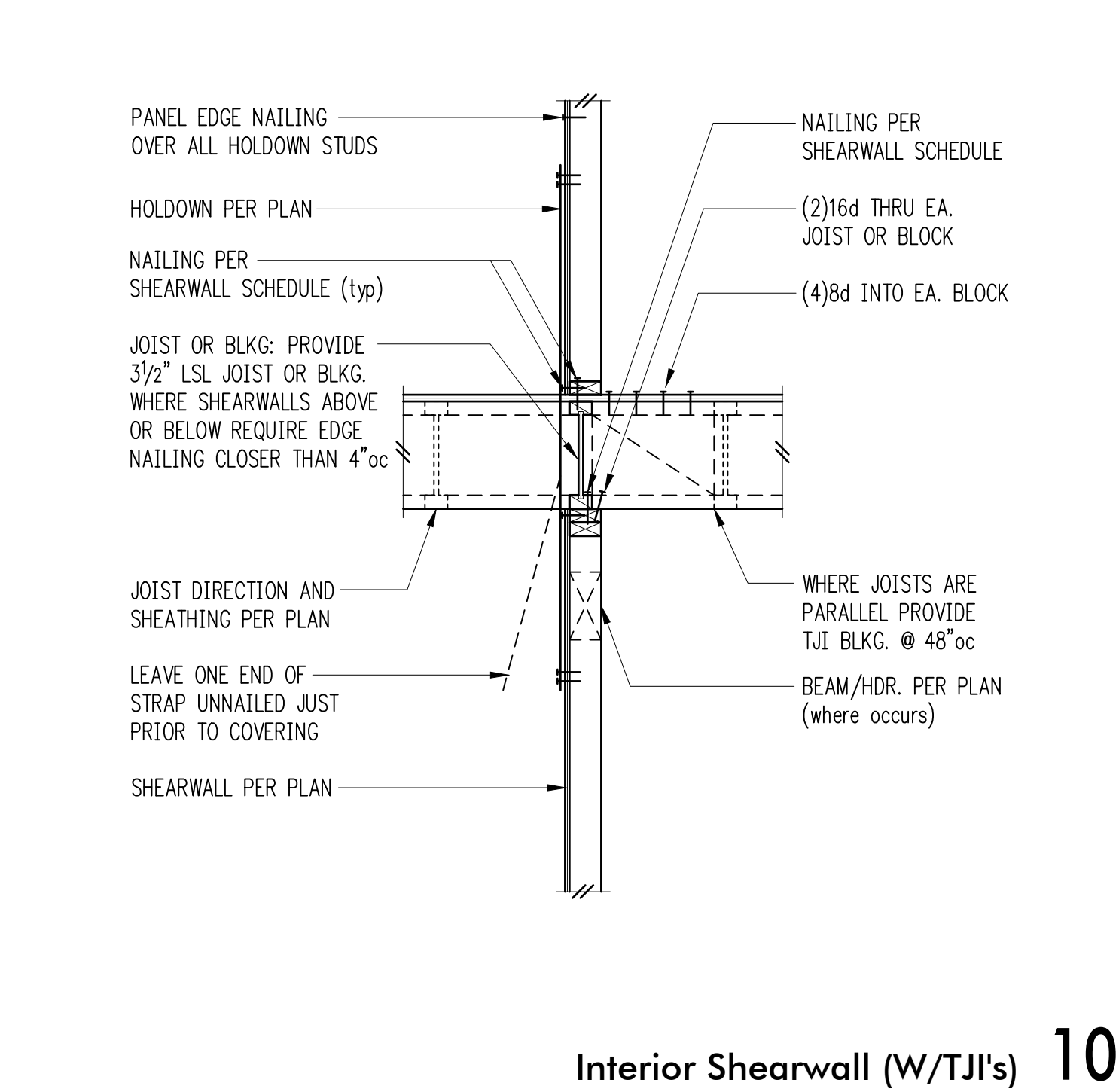
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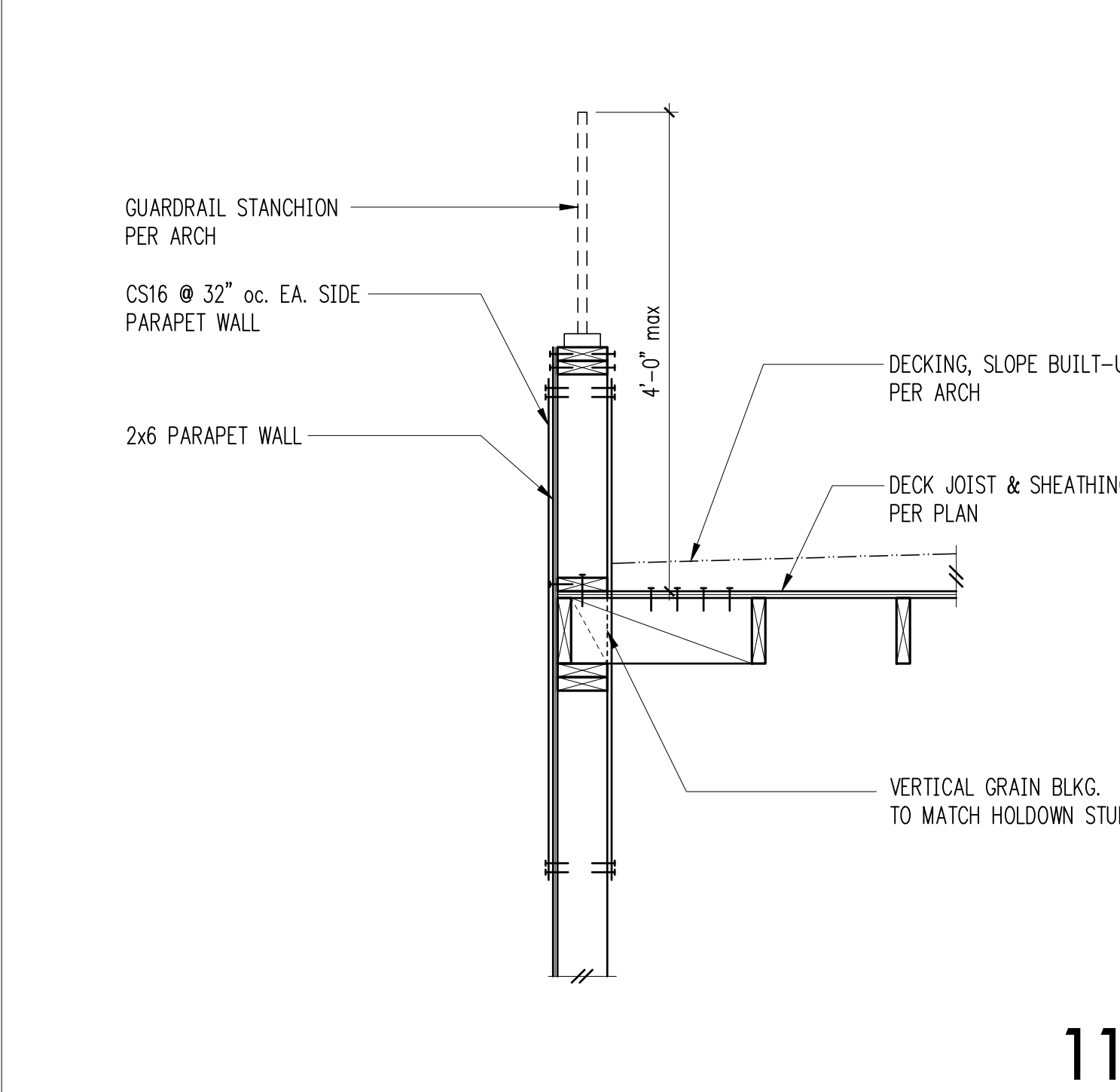
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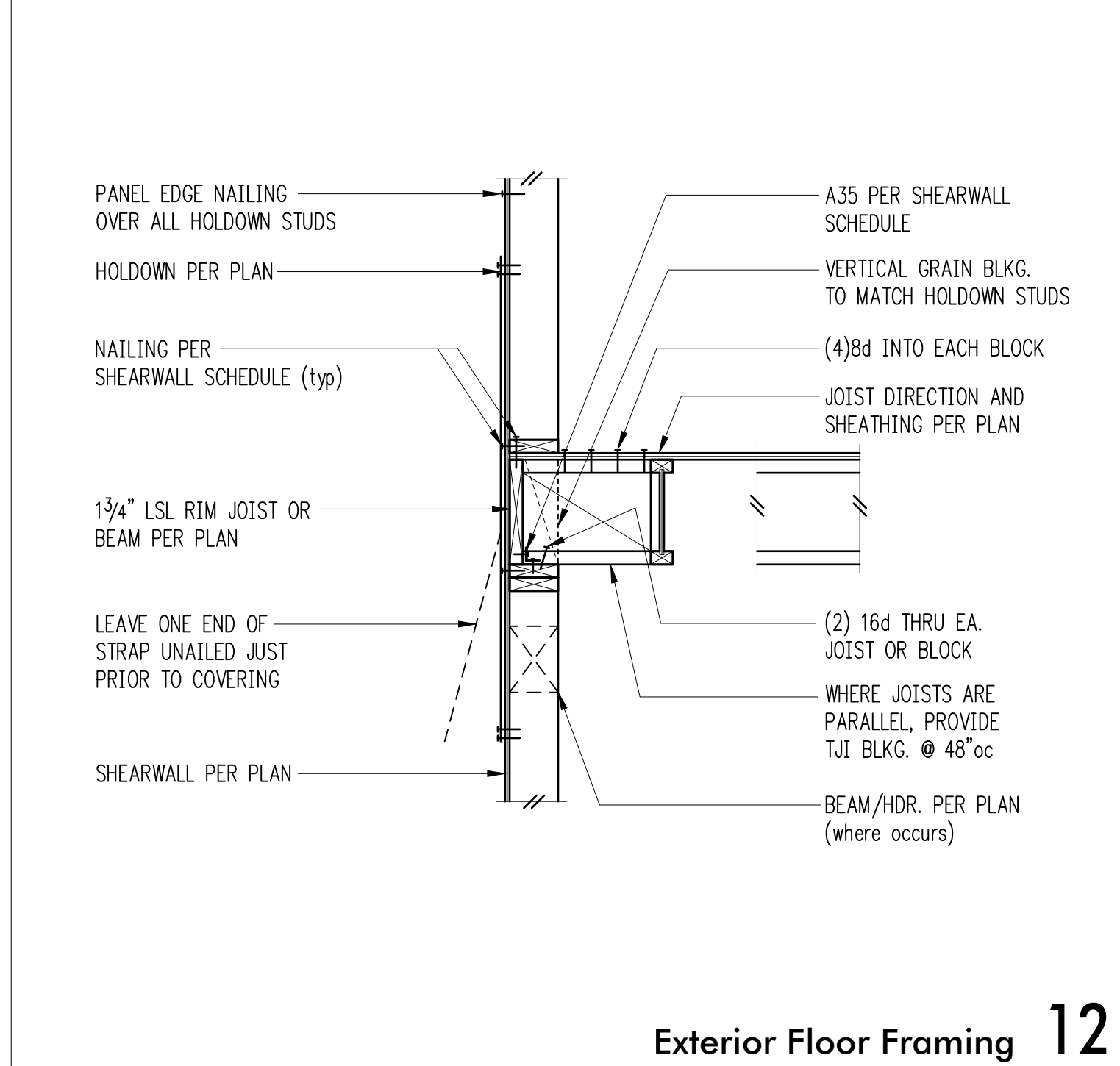
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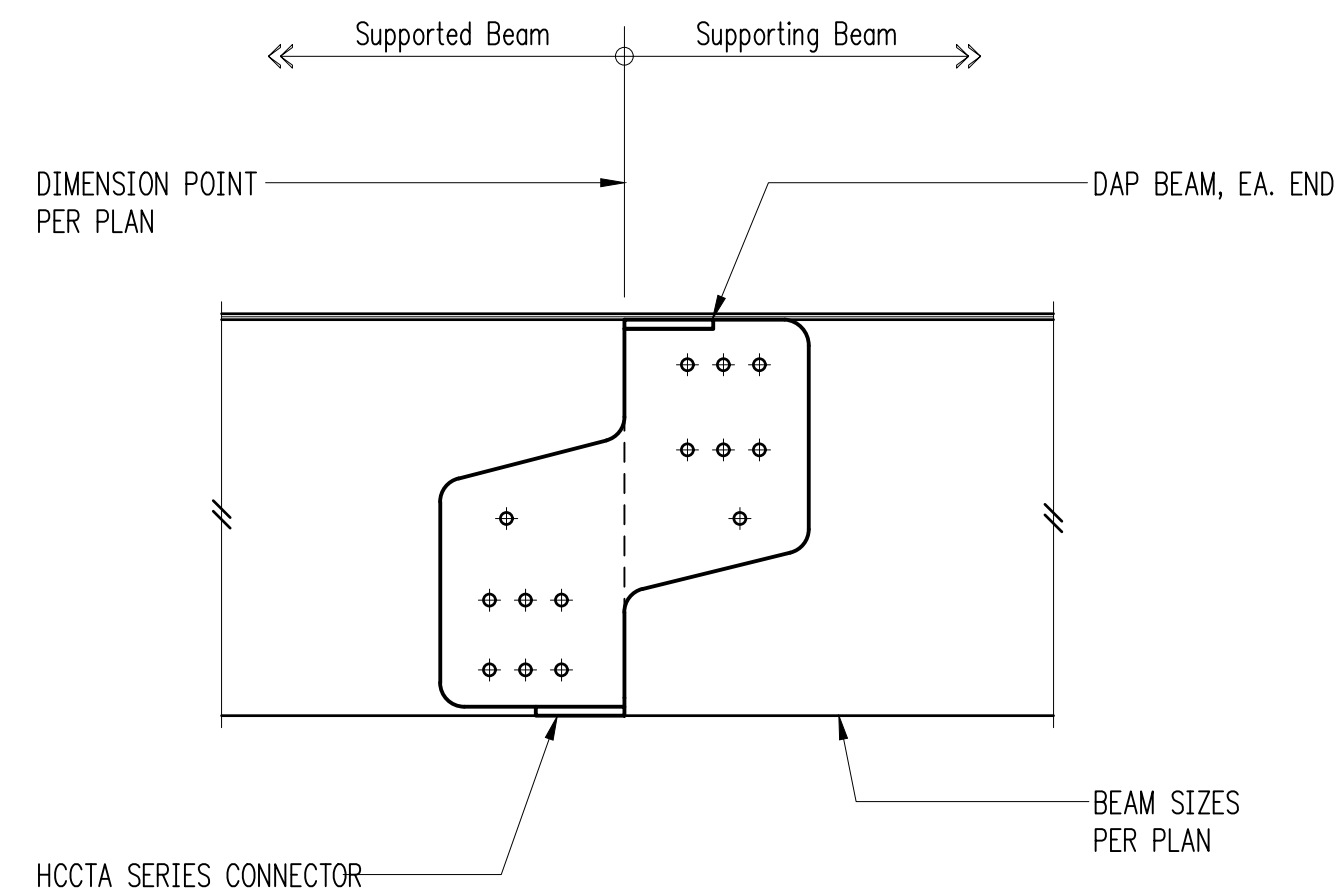
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11

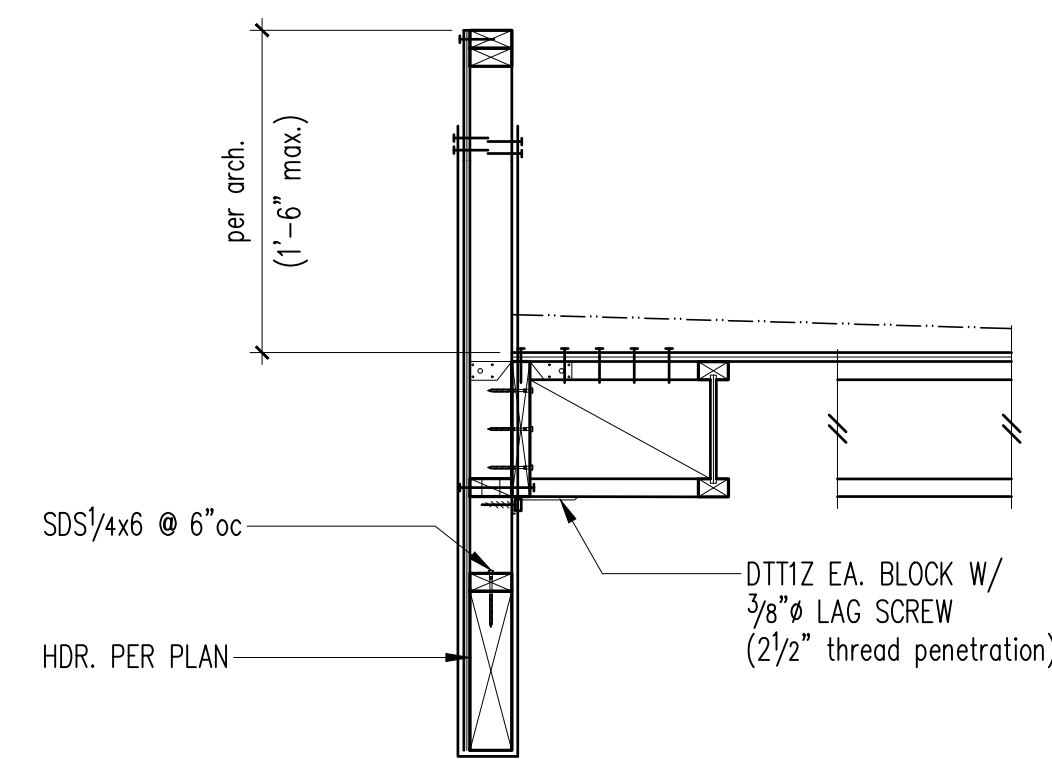


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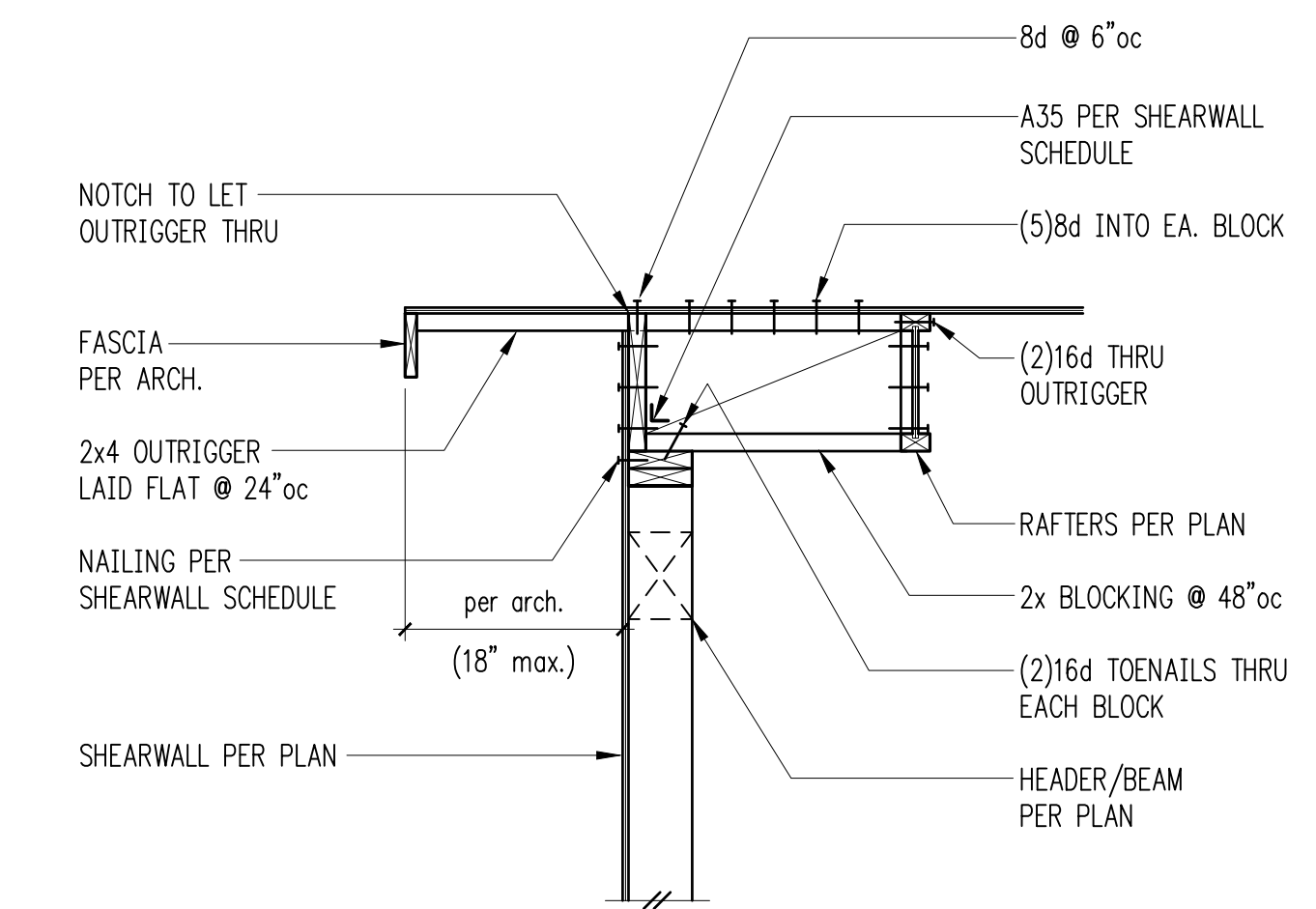
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Hinge Connector 2

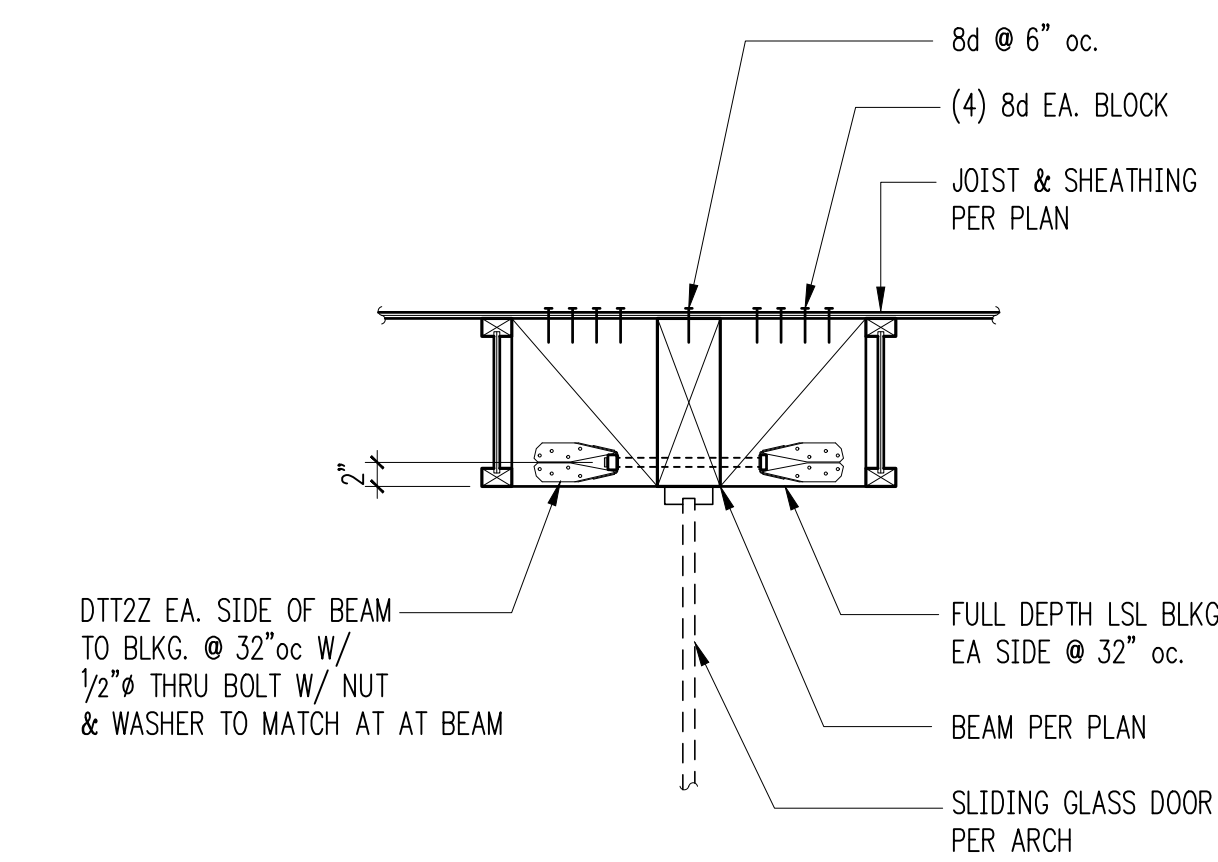


FOR CALLOUTS  
IN COMMON  
REFER 2/S4.2

Parapet Over Door 3

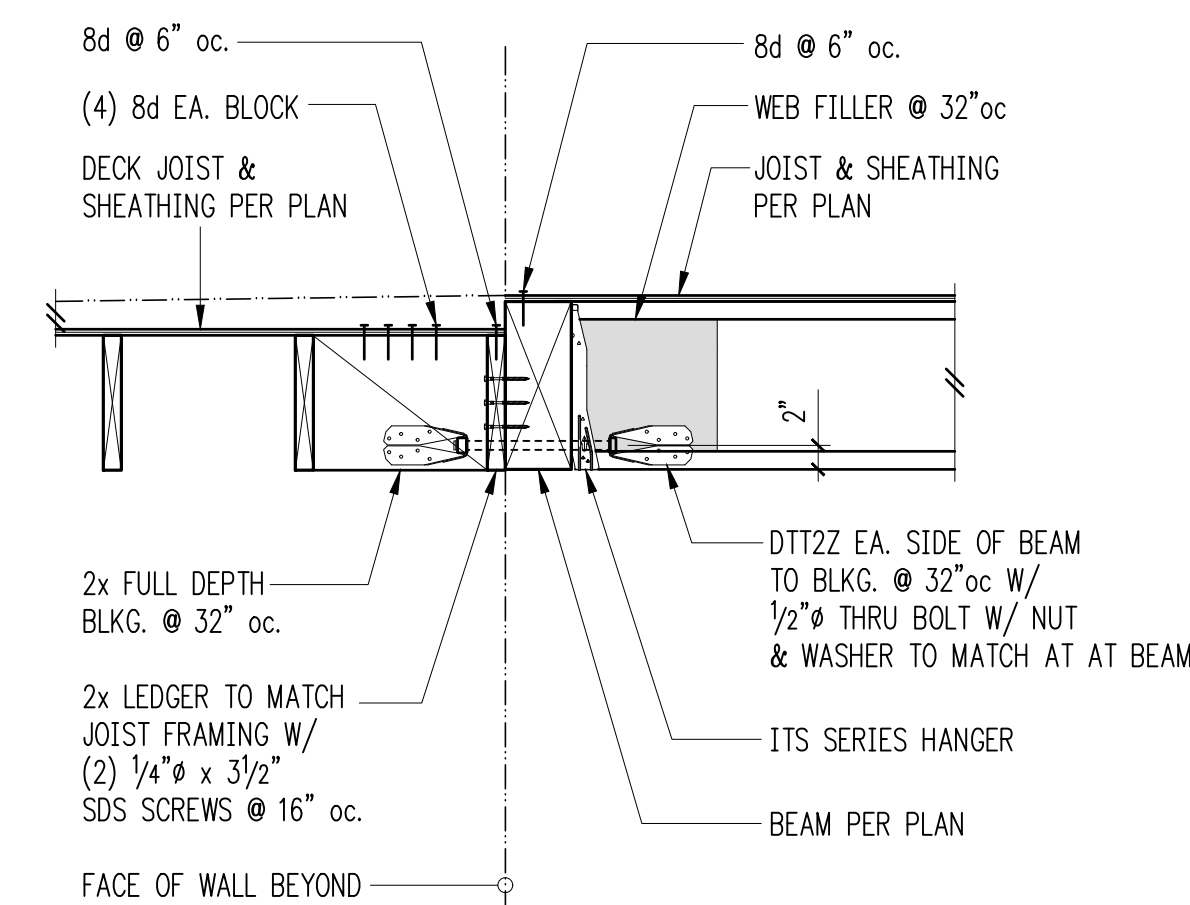


Exterior Non-Bearing Wall 4

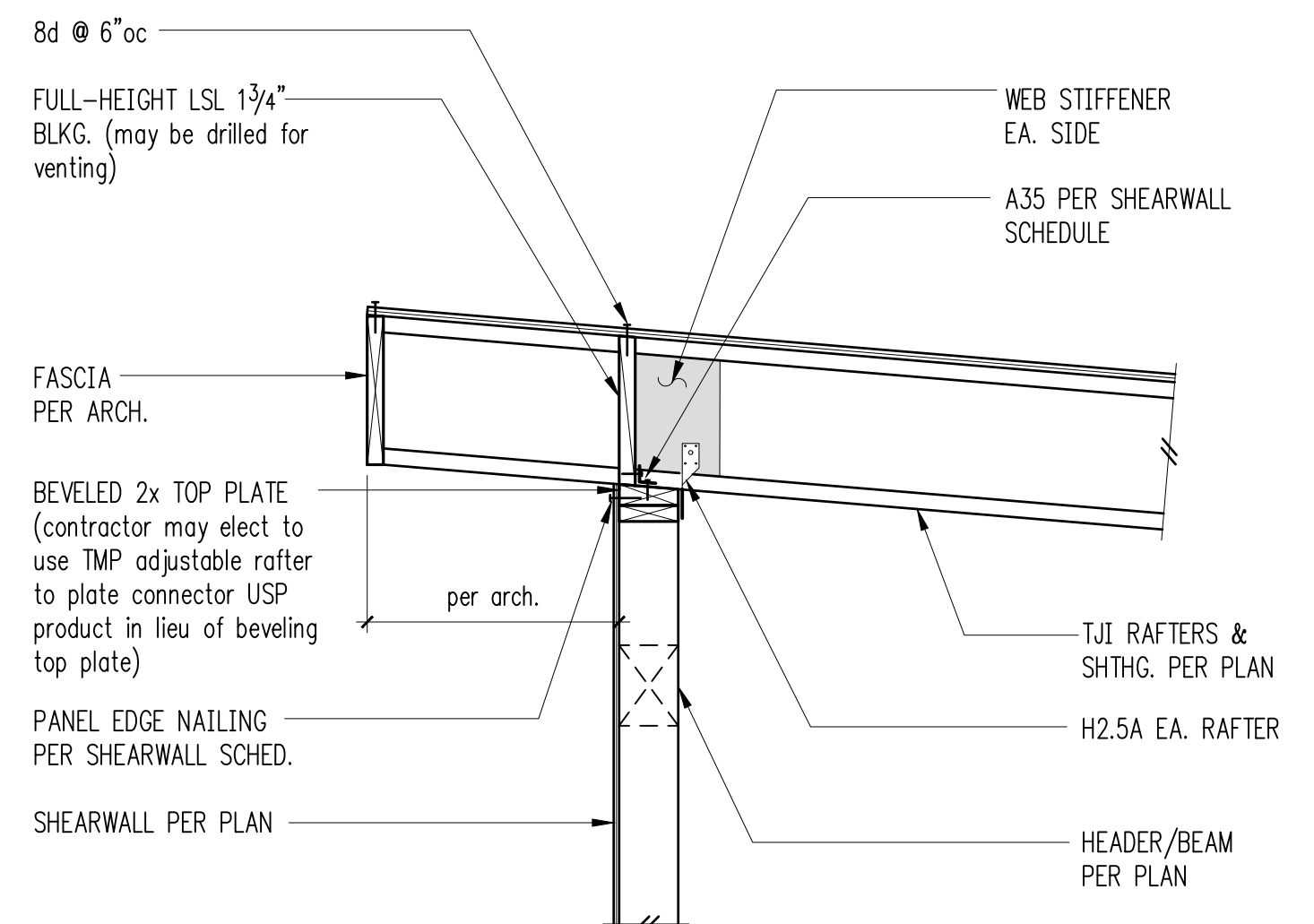


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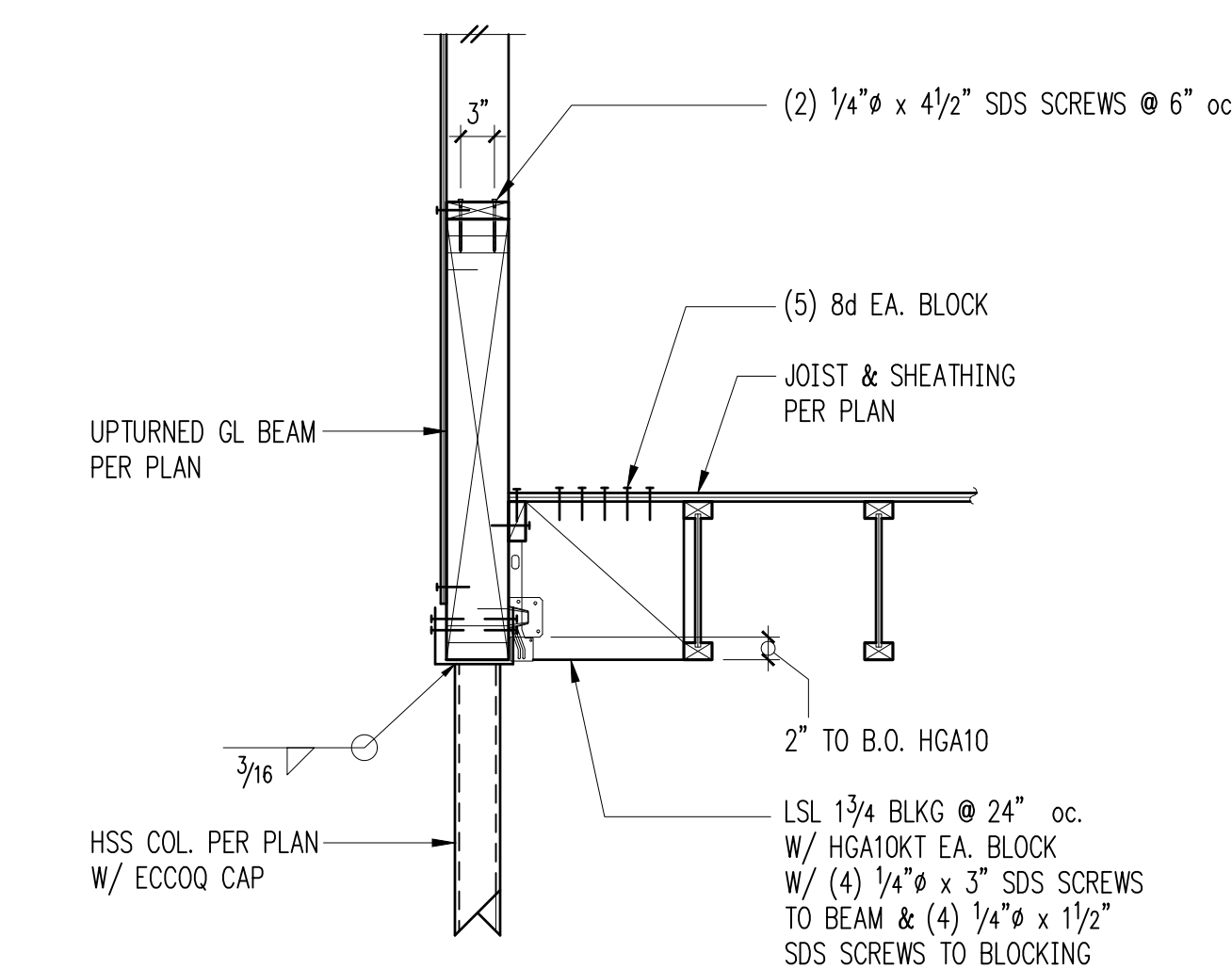
Beam Over Nana Wall 6



Deck/Balcony Framing 7

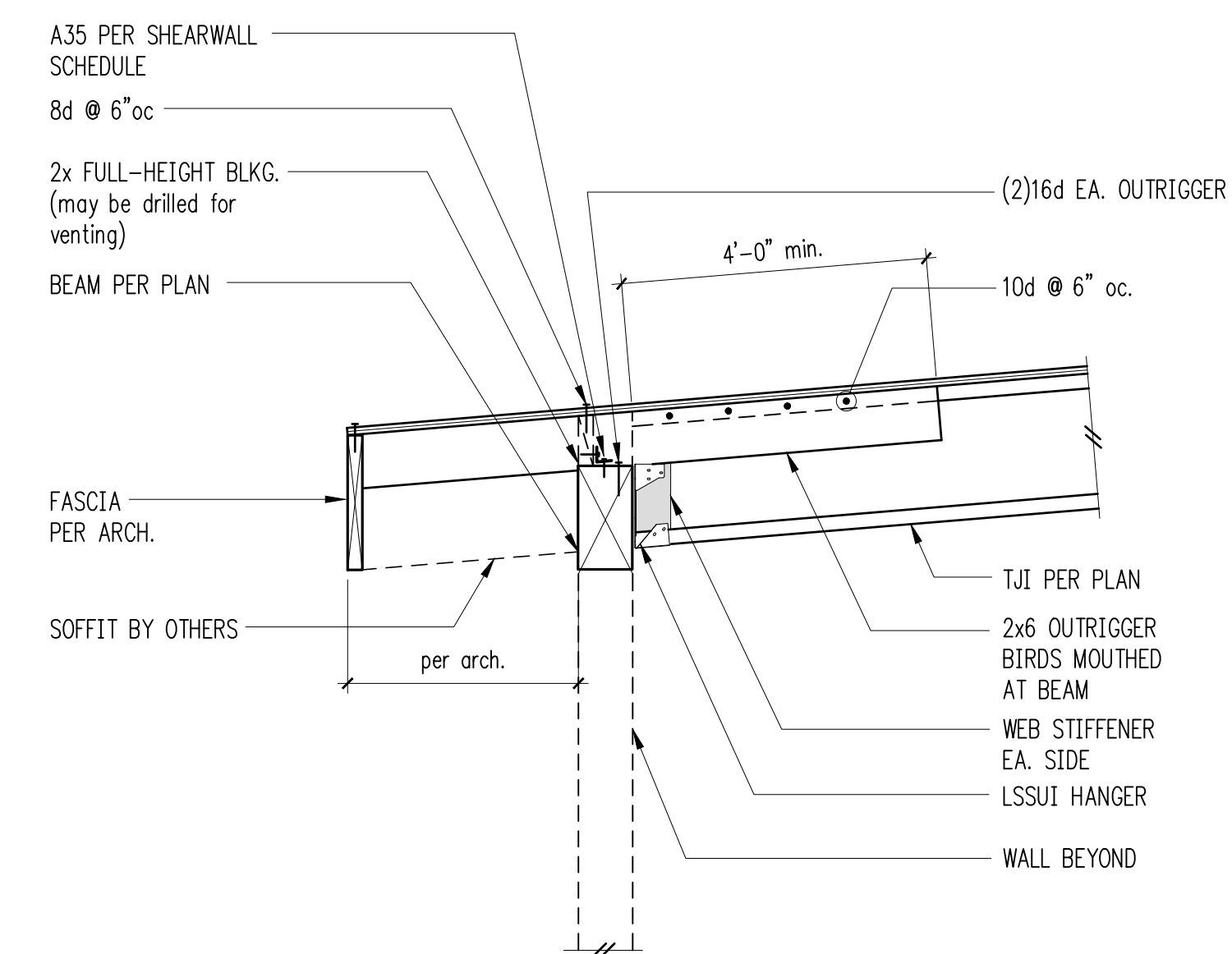


Exterior Bearing Wall 8

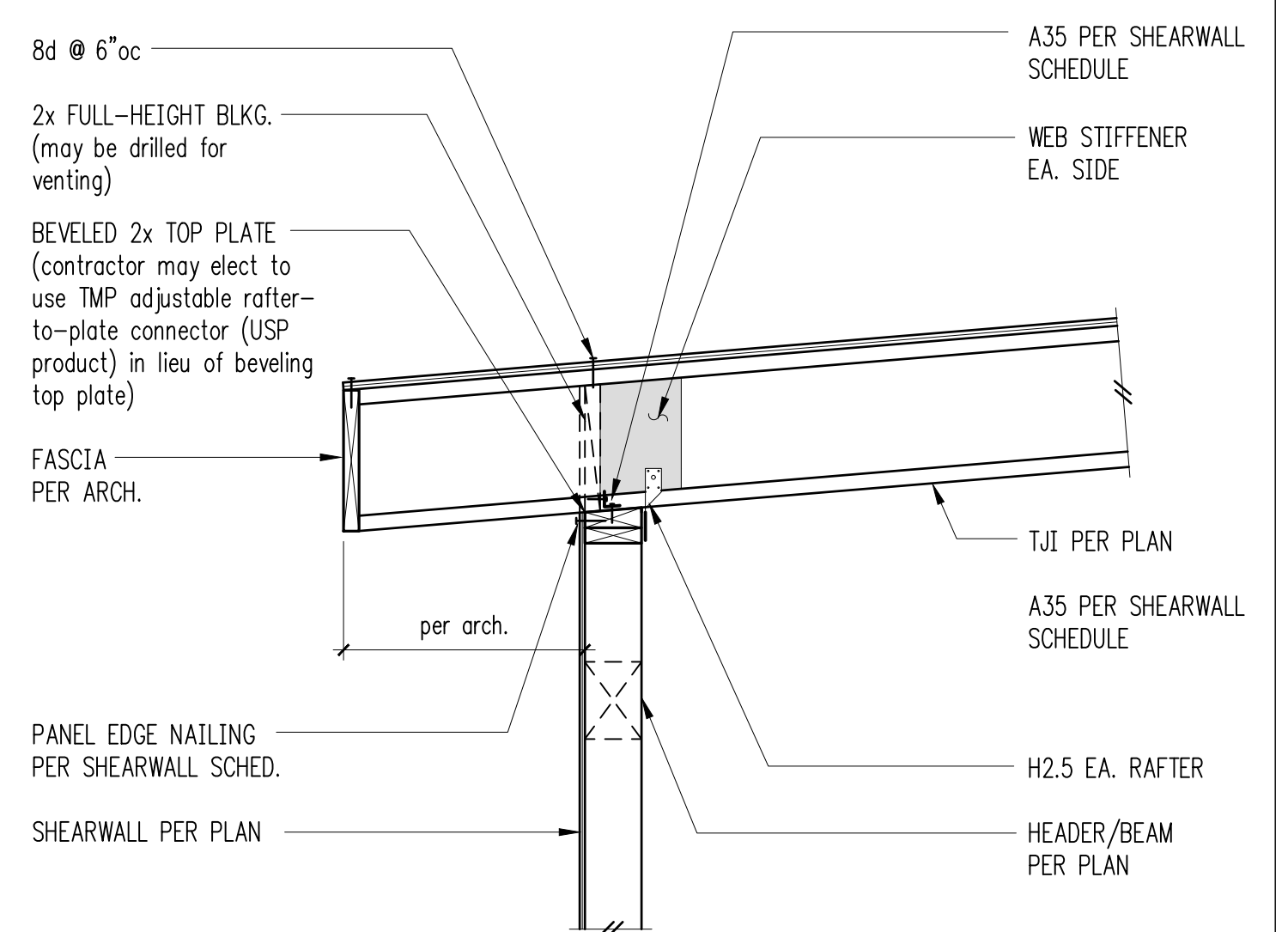


9

Uprturned Beam 10



Exterior Wall at Opening 11



Exterior Bearing Wall 12



DRAWN: SJB  
DESIGN: JRC  
CHECKED: RJA  
APPROVED: ABB

REVISIONS:

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PH 425.559.7888

ISSUE:

Permit

SHEET TITLE:

Wood Framing  
Sections & Details

SCALE: 3/4 = 1'-0" U.N.O.

DATE: Sept. 4, 2018

PROJECT NO: 10604-2018-01-00

SHEET NO:

S4.3



DRAWN: SJB  
 DESIGN: JRC  
 CHECKED: RJA  
 APPROVED: ABB

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**Paek Residence**  
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ISSUE:  
**Permit**

SHEET TITLE:  
**Wood Framing Sections & Details**

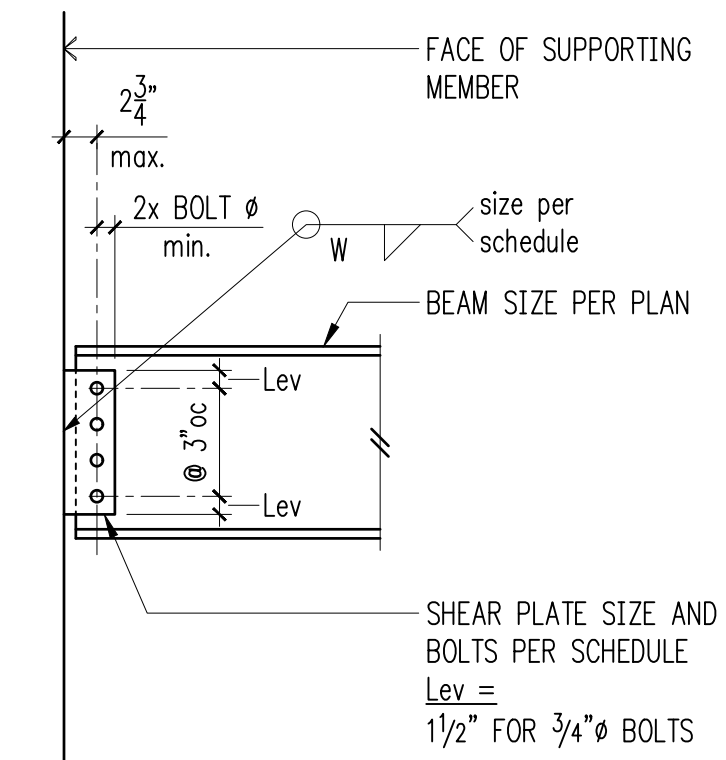
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 DATE: Sept. 4, 2018  
 PROJECT NO: 10604-2018-01-00  
 SHEET NO:

1

2

Typical Single Shear Plate Connection and Schedule 3

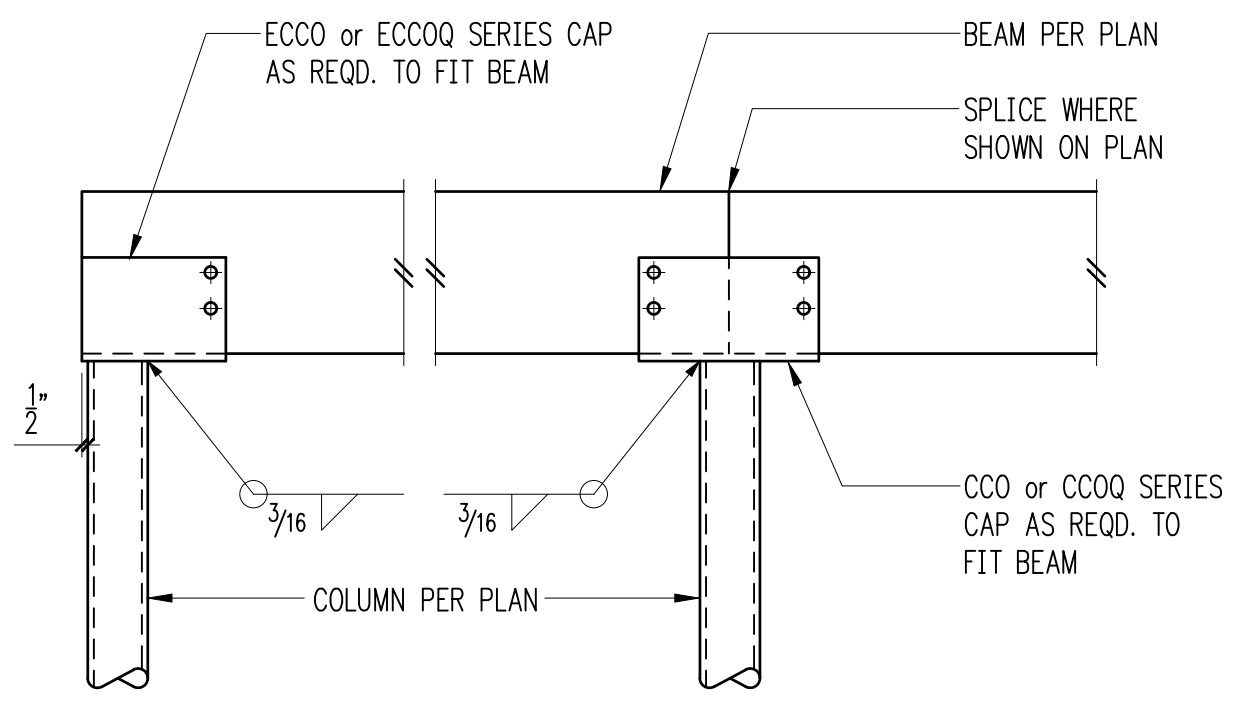
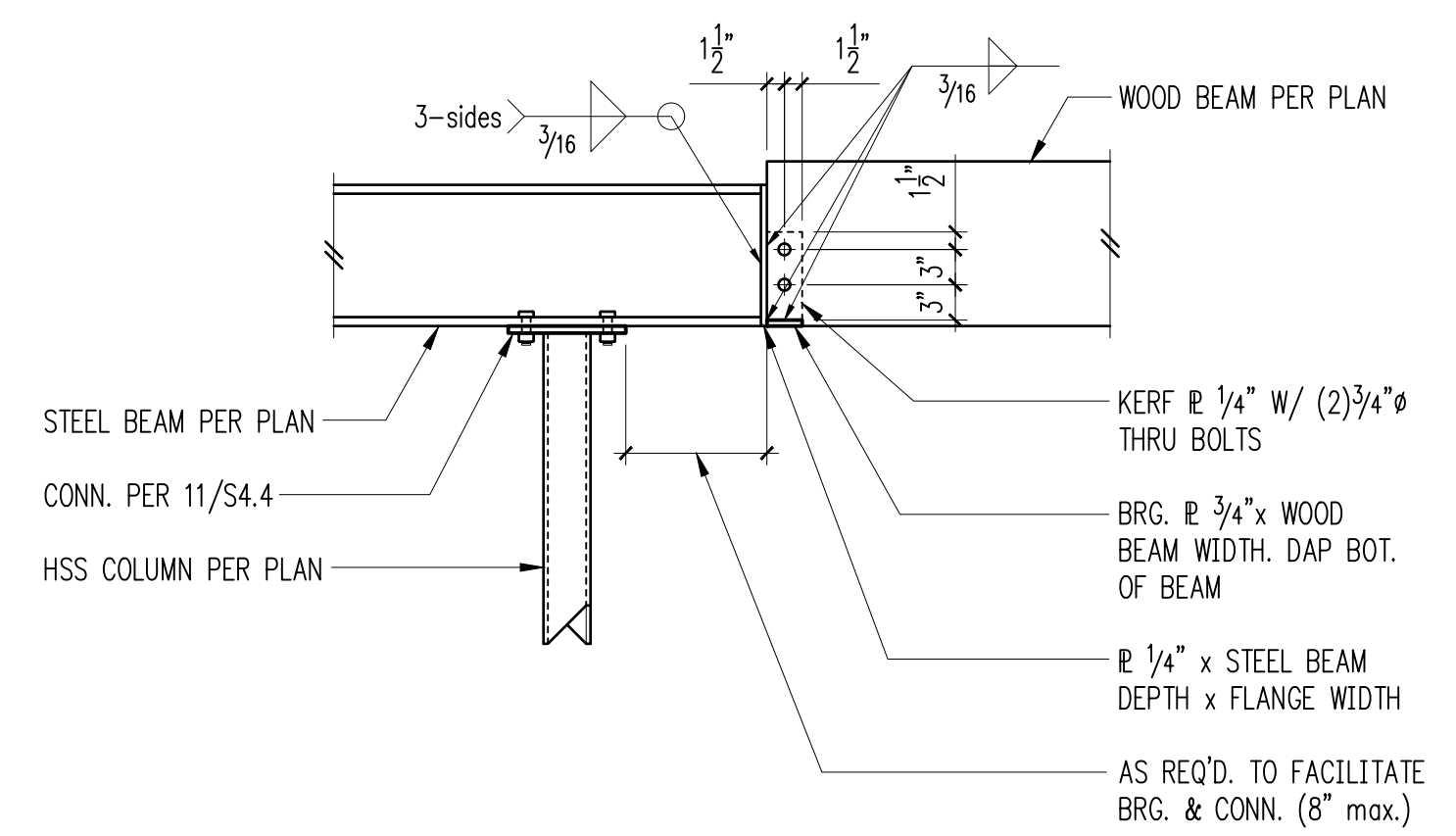
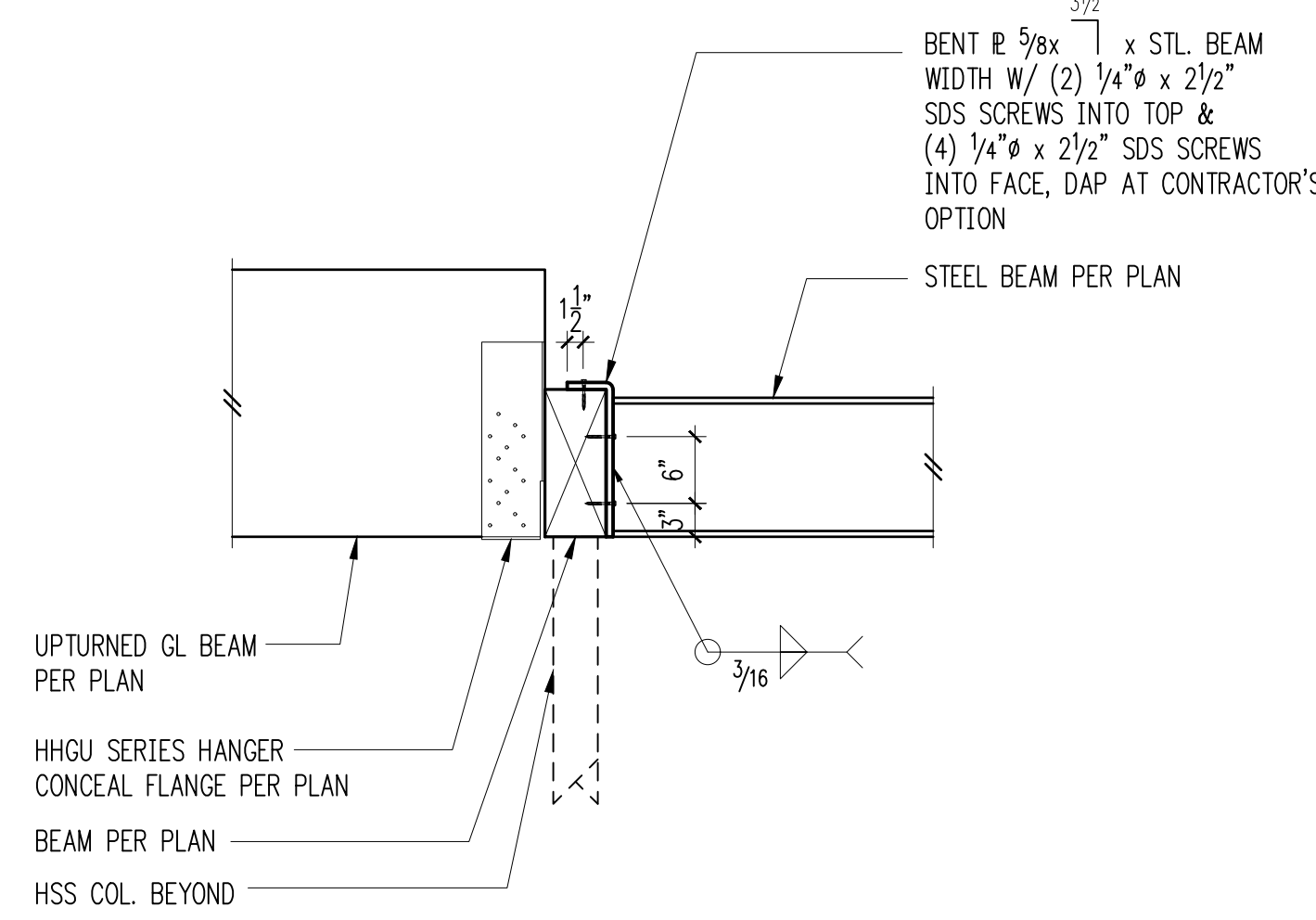
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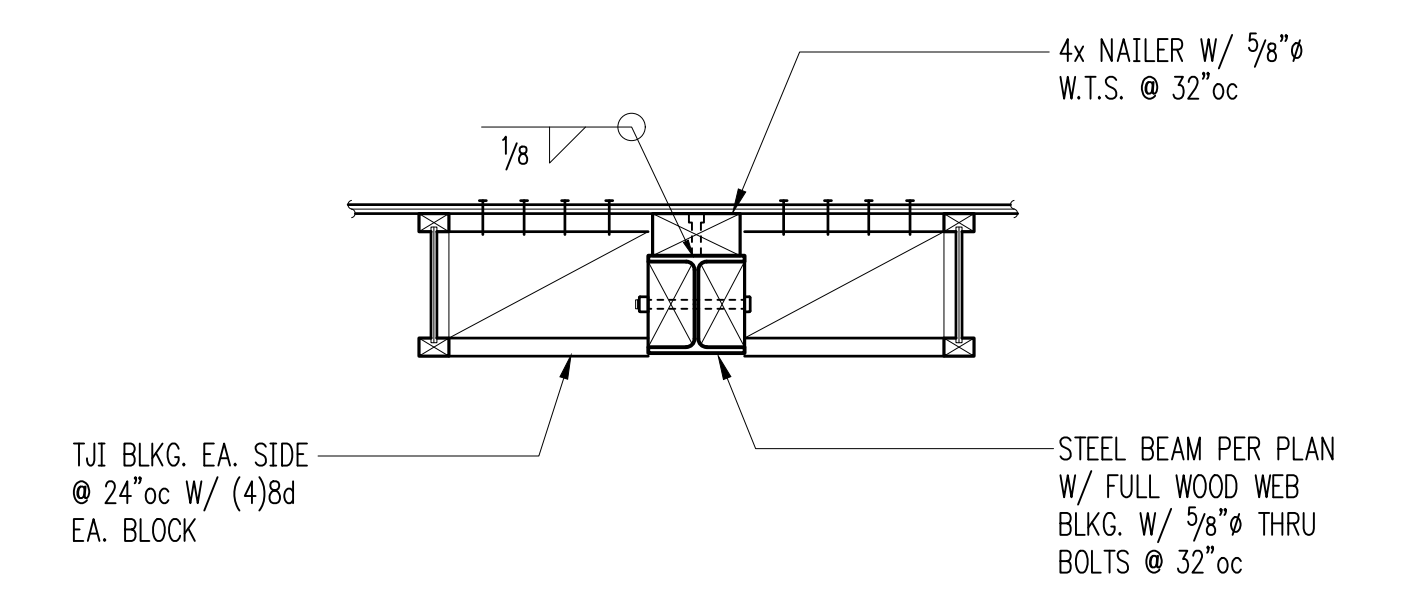
**Shear Plate Schedule**

Beam Size	No. of Bolts	Bolt Size	Plate Thickness	Weld Size
W12	3	3/4"Ø	1/4"	3/16"

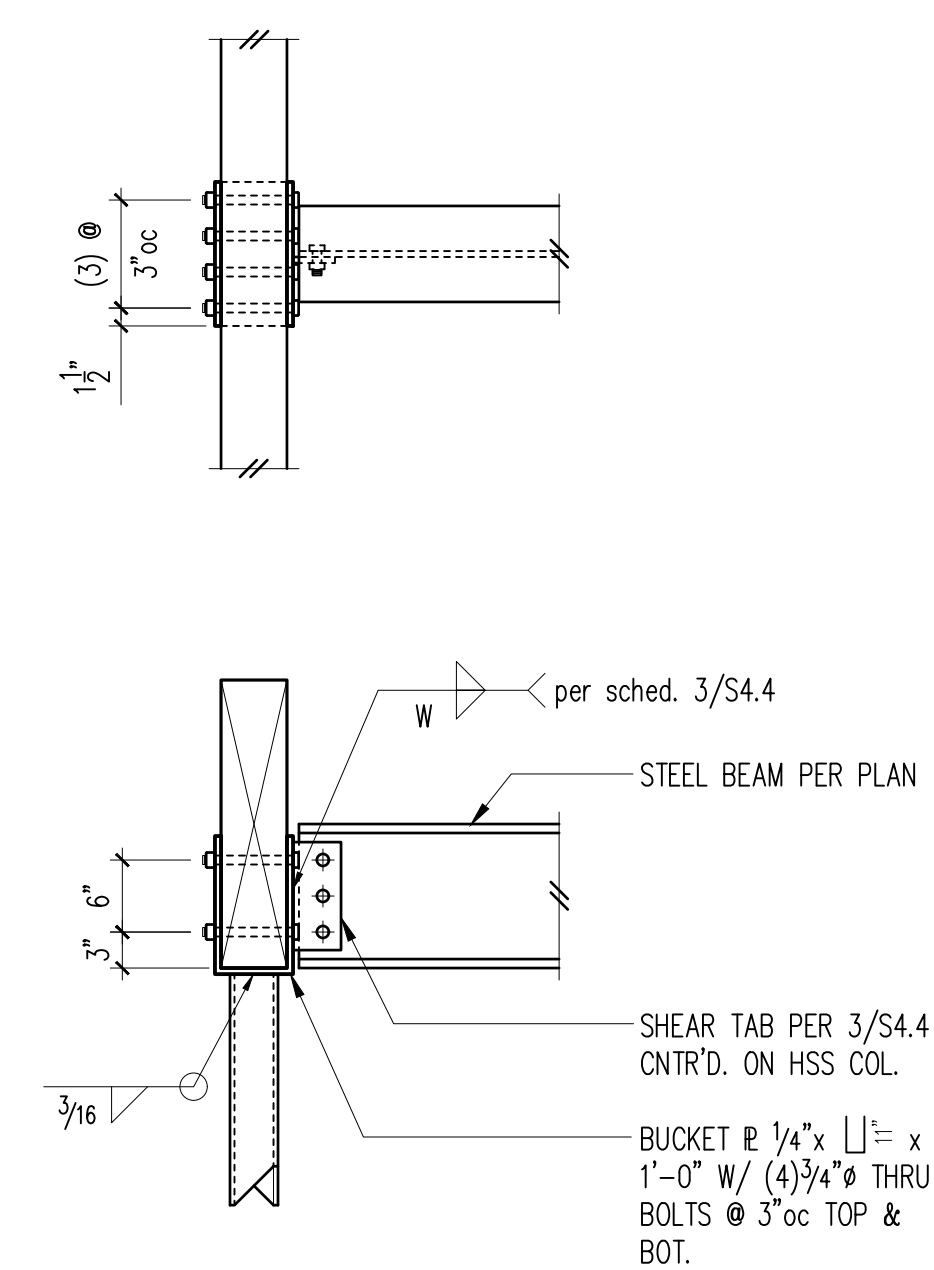
- NOTES:
- STANDARD OR SLOTTED HOLES MAY BE USED.
  - BOLT TYPE A325N.
  - PLATE MATERIAL - A36
  - SEE EXTENDED DETAIL FOR COLUMN WEB CONNECTIONS.



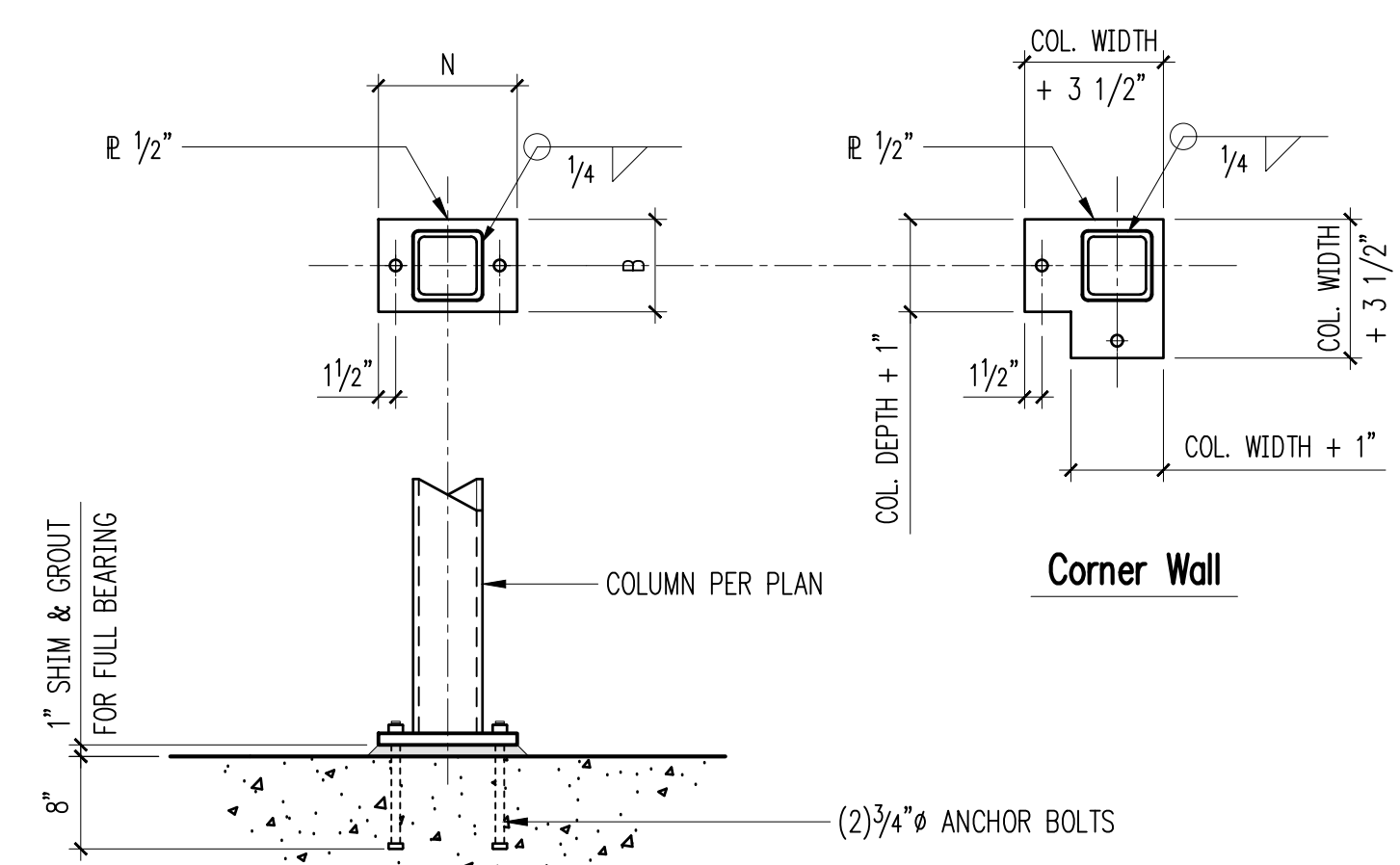
CC/CCQ Series Connection at Steel Column 7



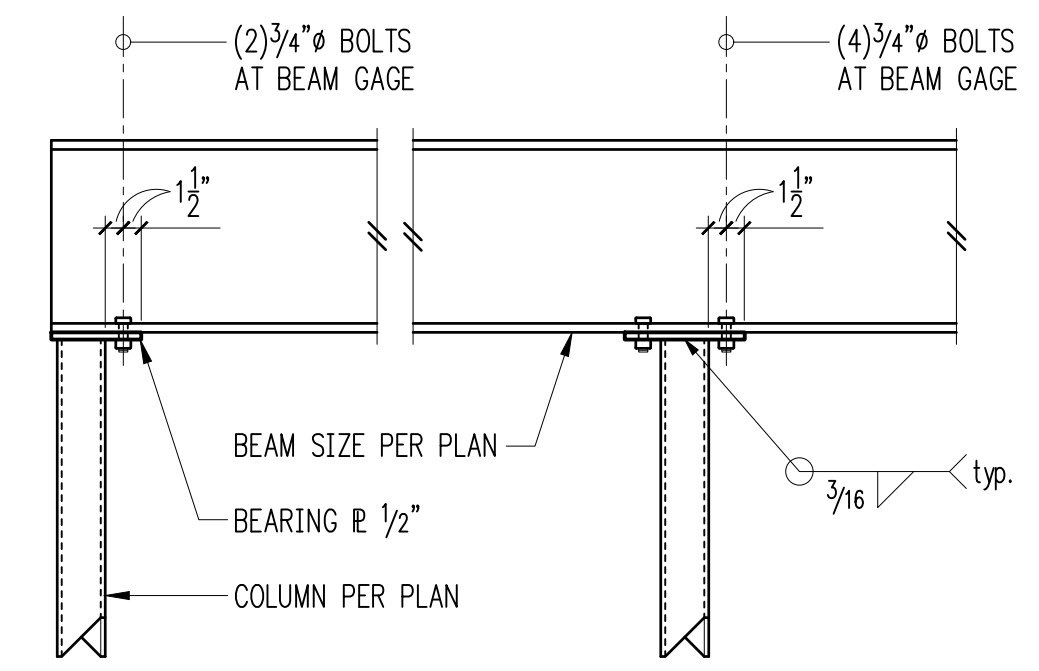
Steel Beam (w/TJI) Parallel to Framing 8



9

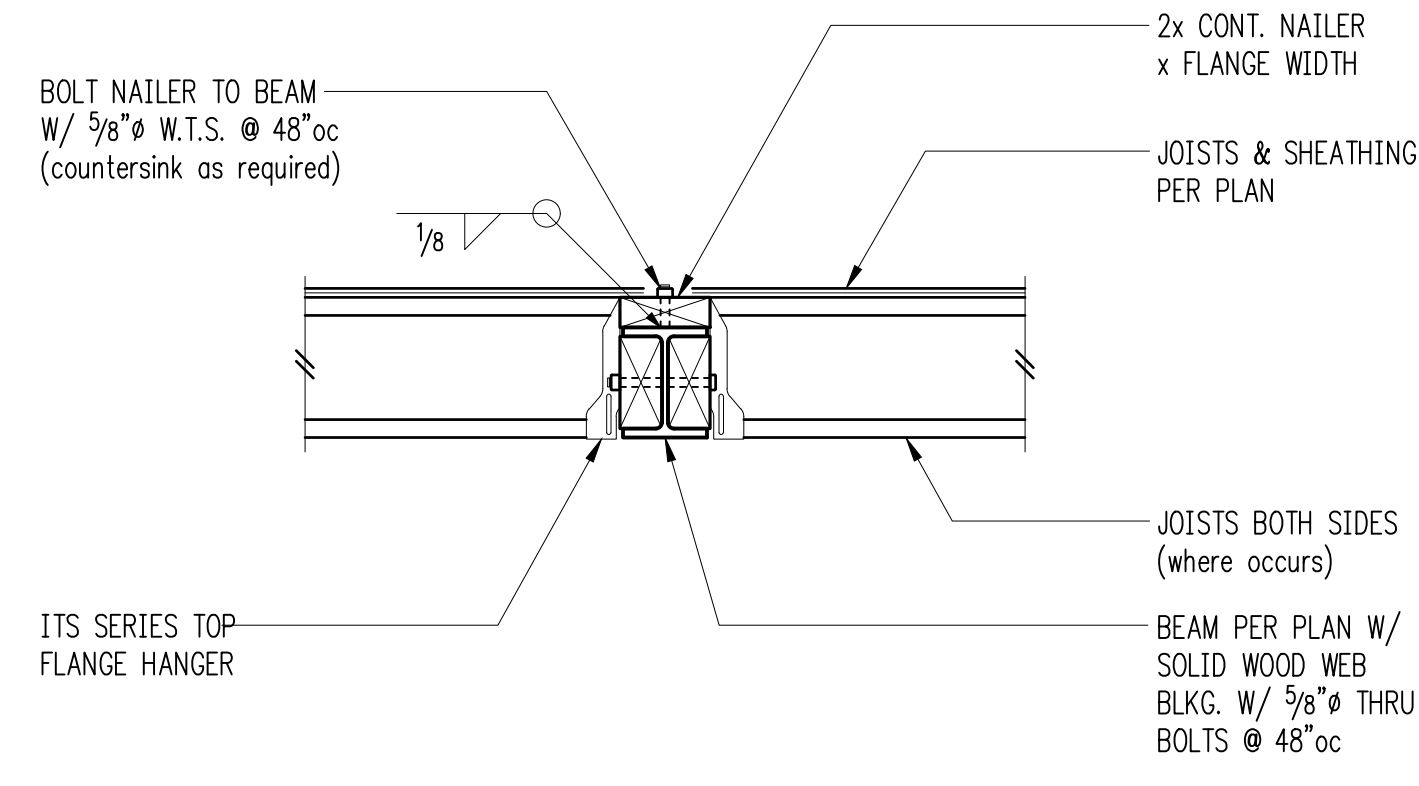


Baseplate - HSS Column 10



Typical Beam Bearing on HSS or Pipe Column 11

NOTE:  
 BEARING PLATE THICKNESS SHALL BE 3/4" WHERE DEPTH OF SUPPORTED MEMBER EXCEEDS 24"



Joists Hung from Steel Beam 12